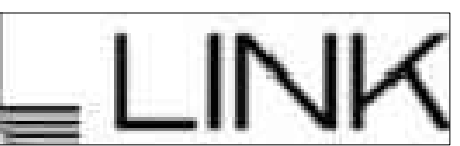


Owner:



3333 MICHELSON DRIVE, STE 725
IRVINE, CA 92612

Project:

**BROADWAY
&
ALONDRA**

16325 & 16407 SOUTH MAIN ST.
CARSON, CA

Consultants:

Civil:	THIENES
Structural:	-
Mechanical:	-
Plumbing:	-
Electrical:	-
Landscape:	HUNTER
Fire Protection:	-
Soils Engineer:	-

Title: Overall Site Plan

Project Number: 20356

Drawn by: JK

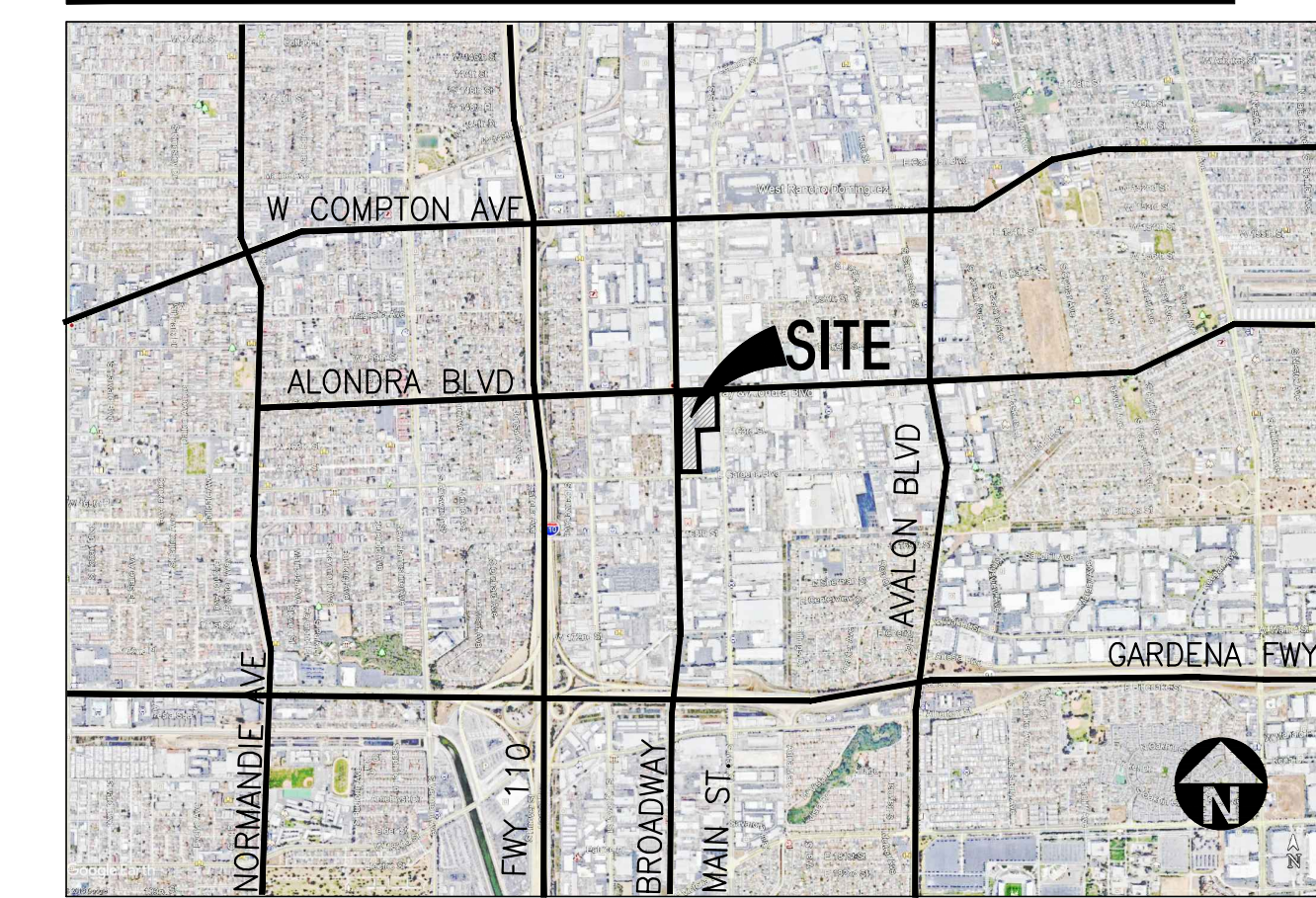
Date: 06/25/21

Revision:

Sheet:

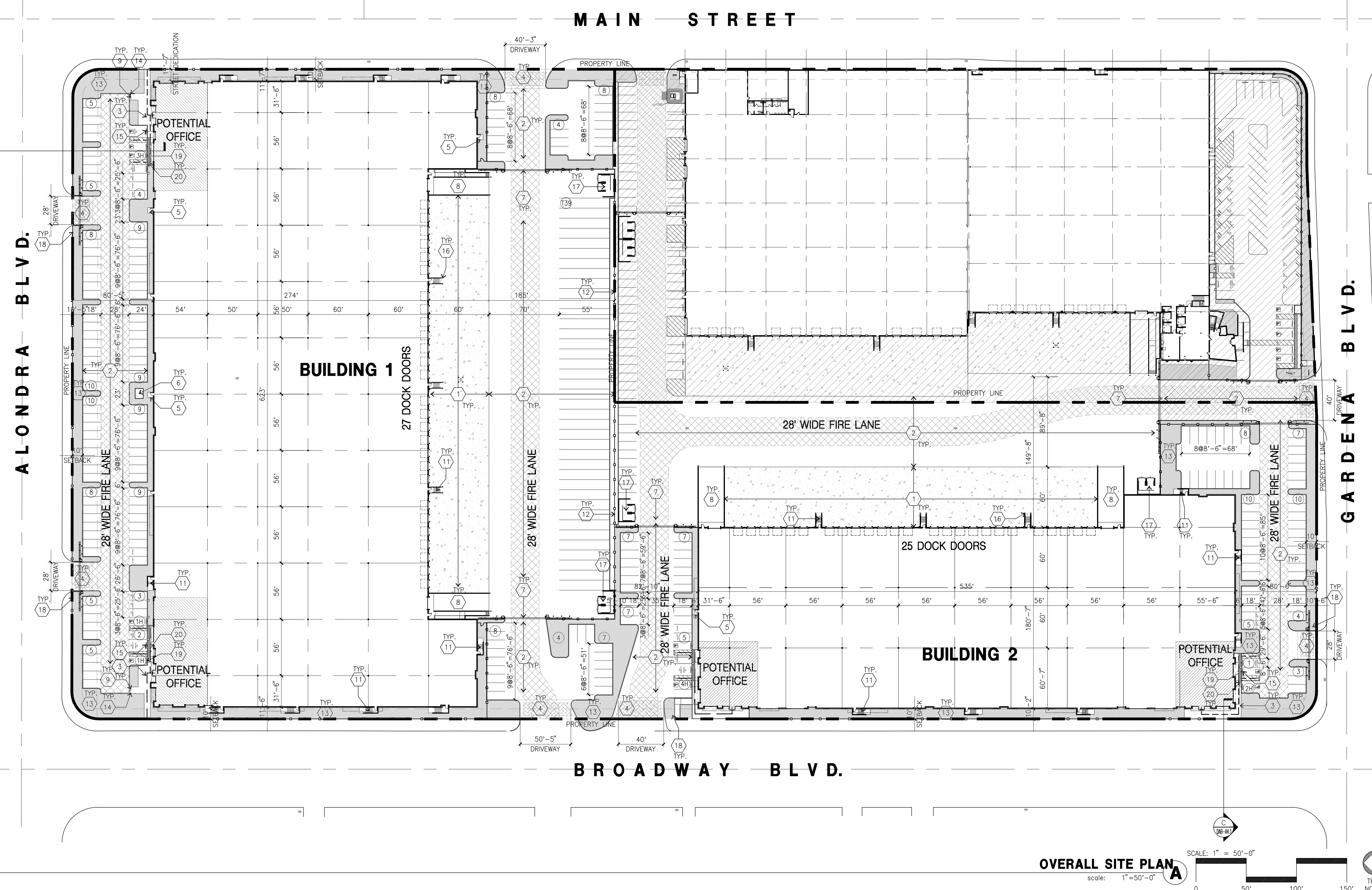
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VICINITY MAP



PROJECT DATA

	BLDG.1	BLDG.2	TOTAL (NEW)
SITE AREA			
In s.f.			567,975 s.f.
In acres			13.04 ac
BUILDING AREA			
Office (1st Floor)	5,000	3,000	8,000 s.f.
Office (Mezzanine)	5,000	3,000	8,000 s.f.
Warehouse	173,921	86,900	270,821 s.f.
TOTAL	183,921	102,900	286,821 s.f.
COVERAGE			
FAR			50.50%
CLEAR HEIGHT	36'	36'	
AUTO PARKING REQUIRED			
Office: 1/300 s.f. (if exceeds 10% GFA)	n/a	n/a	n/a
Whse: 1/1,500 s.f.	123	69	192 stalls
TOTAL	123	69	192 stalls
AUTO PARKING PROVIDED			
Standard (9' x 18')	128	82	210 stalls
Van Accessible (12' x 18')	1	1	2 stalls
Standard Accessible (9' x 18')	4	3	7 stalls
Clean Air (9' x 18')	4	3	7 stalls
EV Van Accessible (12' x 18')	1	1	2 stalls
EV Accessible (9' x 18')	1	1	2 stalls
EV Ambulatory (10' x 18')	0	0	0 stalls
Standard EV (9' x 18')	5	3	8 stalls
TOTAL	144	94	238 stalls
TRAILER PARKING PROVIDED			
Trailer (10' x 55')	39	-	39 stalls
Zoning Designation - Manufacturing Light - Overlay			
MAXIMUM BUILDING HEIGHT ALLOWED			
Height - no limit			
MAXIMUM FLOOR AREA RATIO			
FAR - 50%			
SETBACKS			
Building			
Front - 25'			10'
Side - 10'			10'
Rear - min 5' but not greater than 10'			
Buildings above 50' feet in height, the required setback shall be increased by 1' for each 2' in above 50'			
TRASH ENCLOSURE REQUIRED			
1st 20,000s f.: 10s f. per 1,000 s.f.	200	200 s.f.	
Above: 3s f. per 1,000 s.f.	492	249 s.f.	
	692	449 s.f.	
TRASH ENCLOSURE PROVIDED			
	386	382	



PROJECT INFORMATION

Owner / Applicant BB ALONDRA INDUSTRIAL OWNER LLC C/O REVENTAGE CORPORATE SERVICES 233 SOUTH WACKER DRIVE, STE. 3400 CHICAGO, IL 60606 ATTN: LEGAL DEPARTMENT	Applicant Representative HPA, INC. 18831 BARDEEN AVE. STE 100 IRVINE, CA 92612 PHONE: 310-387-9009 CONTACT: JOSEPH KIM	Construction Type CONCRETE TILT-UP BUILDING BUILDING OCCUPANCY : S-1 / B CONSTRUCTION TYPE : III-B ESFR SYSTEM APN 6125-017-800 Zoning ML-D (MANUFACTURED LIGHT; DESIGN OVERLAY)
Project Address 100 W ALONDRA BOULEVARD, CARSON, CA 90248	Code Analysis 2019 CALIFORNIA BUILDING CODE 2019 CALIFORNIA PLUMBING CODE 2019 CALIFORNIA MECHANICAL CODE 2019 CALIFORNIA ELECTRICAL CODE 2019 CALIFORNIA FIRE CODE 2019 CALIFORNIA ENERGY CODE 2019 CALIFORNIA GREEN BUILDING STANDARDS	

SITE PLAN KEYNOTES

- 1 HEAVY BROOM FINISH CONCRETE PAVEMENT.
- 2 ASPHALT CONCRETE (AC) PAVING. SEE "C" DRAWINGS.
- 3 CONCRETE WALKWAY, MEDIUM BROOM FINISH
- 4 DRIVEWAY APRONS TO BE CONSTRUCTED
- 5 5'-6"x5'-6"x4" THICK CONCRETE EXTERIOR LANDING PAD TYP. AT ALL EXTERIOR MAIN DOORS TO LANDSCAPED AREAS. FINISH TO BE MEDIUM BROOM FINISH. PROVIDE WALK TO PUBLIC WAY OR DRIVE WAY AS REQ. BY CITY INSPECTOR.
- 6 APPROXIMATE LOCATION OF TRANSFORMER. CONTRACTOR TO VERIFY WITH S.C.E.
- 7 PROVIDE 8" HIGH METAL GATES W/ KINOX-BOX PER FIRE DEPARTMENT STANDARDS PER DRIVEWAY.
- 8 CONCRETE RAMP W/ 42" HIGH CONCRETE WALL.
- 9 EXTERIOR BIKE RACK TYPICAL.
- 10 NOT USED.
- 11 EXTERIOR CONCRETE STAIR.
- 12 8" HIGH METAL FENCE.
- 13 LANDSCAPE. ALL LANDSCAPE AREAS INDICATED BY SHADING.
- 14 SMOKING AREA.
- 15 PRE-CAST CONCRETE WHEEL STOP.
- 16 CONCRETE FILLED GUARD POST "6 DIA. U.N.O. 42" H.
- 17 TRASH ENCLOSURE PER CITY STANDARD.
- 18 ACCESSIBLE ENTRY SIGN.
- 19 ACCESSIBLE PARKING STALL SIGN.
- 20 TRUNCATED DOME.

SITE PLAN GENERAL NOTES

1. THE SITE PLAN BASED ON THE SOILS REPORT PREPARED BY: TBD
2. IF SOILS ARE EXPANSIVE IN NATURE, USE STEEL REINFORCING FOR ALL SITE CONCRETE.
3. ALL DIMENSIONS ARE TO THE FACE OF CONCRETE WALL, FACE OF CONCRETE CURB OR GRID LINE U.N.O.
4. SEE "C" PLANS FOR ALL CONCRETE CURBS, GUTTERS AND SWALES.
5. THE ENTIRE PROJECT SHALL BE PERMANENTLY MAINTAINED WITH AN AUTOMATIC IRRIGATION SYSTEM.
6. SEE "C" DRAWINGS FOR POINT OF CONNECTIONS TO OFF-SITE UTILITIES. CONTRACTOR SHALL VERIFY ACTUAL UTILITY LOCATIONS.
7. PROVIDE POSITIVE DRAINAGE AWAY FROM BLDG. SEE "C" DRAWINGS.
8. CONTRACTOR TO REFER TO "C" DRAWINGS FOR ALL HORIZONTAL CONTROL DIMENSIONS. SITE PLANS ARE FOR GUIDANCE AND STARTING LAYOUT POINTS.
9. SEE "C" DRAWINGS FOR FINISH GRADE ELEVATIONS.
10. CONCRETE SIDEWALKS TO BE A MINIMUM OF 4" THICK W/ TOOLED JOINTS AT 6' O.C. EXPANSION/CONSTRUCTION JOINTS SHALL BE A MAXIMUM 12' EA. WAY. EXPANSION JOINTS TO HAVE COMPRESSIVE EXPANSION FILLER MATERIAL OF 1/4". FINISH TO BE A MEDIUM BROOM FINISH U.N.O.
11. PAINT CURBS AND PROVIDE SIGNS TO INFORM OF FIRE LANES AS REQUIRED BY FIRE DEPARTMENT.
12. CONSTRUCTION DOCUMENTS PERTAINING TO THE LANDSCAPE AND IRRIGATION OF THE ENTIRE PROJECT SITE SHALL BE SUBMITTED TO THE BUILDING DEPARTMENT AND APPROVED BY PUBLIC FACILITIES DEVELOPMENT PRIOR TO ISSUANCE OF BUILDING PERMITS.
13. PRIOR TO FINAL CITY INSPECTION, THE LANDSCAPE ARCHITECT SHALL SUBMIT A CERTIFICATE OF COMPLETION TO PUBLIC FACILITIES DEVELOPMENT.
14. ALL LANDSCAPE AND IRRIGATION DESIGNS SHALL MEET CURRENT CITY STANDARDS AS LISTED IN GUIDELINES OR AS OBTAINED FROM PUBLIC FACILITIES DEVELOPMENT.
15. ALL VERTICAL MOUNTING POLES OF CHAIN LINK FENCING SHALL BE CAPPED.
16. LANDSCAPED AREAS SHALL BE DELINEATED WITH A MINIMUM SIX INCHES (6") HIGH CURB.

SITE PLAN GENERAL NOTES

- CONCRETE PAVING. SEE "C" DRWS. FOR THICKNESS
- STANDARD PARKING STALL 8'-6" X 18'
- LANDSCAPED AREA
- 28" WIDE FIRELANE
- HANDICAP PARKING STALL (9' X 18') W/ 5' ACCESSIBLE AISLE
- HANDICAP PARKING STALL (VAN) (12' X 18') W/ 5' ACCESSIBLE AISLE
- PATH OF TRAVEL

LEGAL DESCRIPTION:

THAT PORTION OF LOTS 33 AND 44 OF THE GARDENA TRACT, IN THE CITY OF CARSON, AS PER MAP RECORDED JANUARY 03, 1893 IN BOOK 52, PAGE 73, OF MISCELLANEOUS RECORDS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY, TOGETHER WITH A STRIP OF LAND 10 FEET WIDE, LYING NORTHERLY OF THE ADJOINING SAID LOT 33, SAID STRIP BEING A PORTION OF ALONDRA BOULEVARD, FORMERLY KNOWN AS CENTRAL AVENUE, VACATED BY ORDER OF THE BOARD OF SUPERVISORS OF SAID LOS ANGELES COUNTY, A CERTIFIED COPY OF WHICH IS RECORDED IN BOOK 99, PAGES 85 AND 86, OF MISCELLANEOUS RECORDS, IN SAID RECORDER'S OFFICE, DESCRIBED AS FOLLOWS:

BEGINNING AT THE INTERSECTION OF THE SOUTHERLY LINE OF SAID LOT 44 WITH THE EASTERLY LINE OF BROADWAY, 100 FEET WIDE, AS DESCRIBED IN THE FINAL ORDER OF CONDEMNATION ENTERED IN LOS ANGELES COUNTY SUPERIOR COURT CASE NO. 274177, A CERTIFIED COPY BEING RECORDED AUGUST 18, 1933 AS INSTRUMENT NO. 355, IN BOOK 12339, PAGE 97, OF OFFICIAL RECORDS OF SAID COUNTY, AND ALSO REGISTERED AUGUST 21, 1933 AS DOCUMENT NO. 11657-B AND ENTERED ON CERTIFICATE OF TITLE D-4580, ON FILE IN THE OFFICE OF THE COUNTY RECORDER;

THENCE NORTH 89°58'21" EAST 276.00 FEET ALONG SAID SOUTHERLY LINE TO A POINT

THENCE NORTH 698.50 FEET;

THENCE EAST 390.15 FEET TO THE EASTERLY LINE OF SAID LOT 33;

THENCE ALONG SAID EASTERLY LINE NORTH 0°00'22" WEST 559.01 FEET TO THE NORTHERLY LINE OF SAID STRIP OF LAND 10.00 FEET WIDE;

THENCE ALONG THE LAST MENTIONED NORTHERLY LINE

NORTH 89°54'18" WEST 866.10 FEET TO SAID EASTERLY LINE OF BROADWAY;

THENCE ALONG THE EASTERLY LINE OF BROADWAY SOUTH 1258.41 FEET TO THE POINT OF BEGINNING AND BEING DESCRIBED IN LOT LINE ADJUSTMENT NO. 34-92 RECORDED JULY 23, 1992 AS INSTRUMENT NO. 92-1344809, OF OFFICIAL RECORDS.

EXCEPT FROM LOT 33 AN UNDIVIDED 1/2 INTEREST IN ANY AND ALL OIL, GAS, MINERALS AND OTHER HYDROCARBON SUBSTANCES WITHOUT THE RIGHT OF SURFACE ENTRY OR EXCAVATING TO A DEPTH OF 250 FEET AS RESERVED BY KEITH W. SCHLAEGEL AND OPAL B. SCHLAEGEL, HUSBAND AND WIFE, IN DEED RECORDED APRIL 14, 1959 AS INSTRUMENT NO. 740, OF OFFICIAL RECORDS.

ALSO EXCEPT THEREFROM THAT PORTION OF LOT 33, ALL OIL, GAS, MINERALS, WATER AND OTHER HYDROCARBON SUBSTANCES IN AND UNDER SAID LAND, BUT WITHOUT THE RIGHT OF SURFACE OR SUBSURFACE ENTRY TO A DEPTH OF 250 FEET FROM THE PRESENT SURFACE OF SAID LAND, AS RESERVED BY SIDNEY R. TITLE AND CHARLOTTE W. TITLE, HUSBAND AND WIFE, IN DEED RECORDED AUGUST 08, 1962 AS INSTRUMENT NO. 2921, OF OFFICIAL RECORDS.

APN: 6125-017-800

Owner:

3333 MICHELSON DRIVE , STE 725
IRVINE, CA 92612

Project:

**BROADWAY
&
ALONDRA**

16325 & 16407 SOUTH MAIN ST.
CARSON, CA

Consultants:

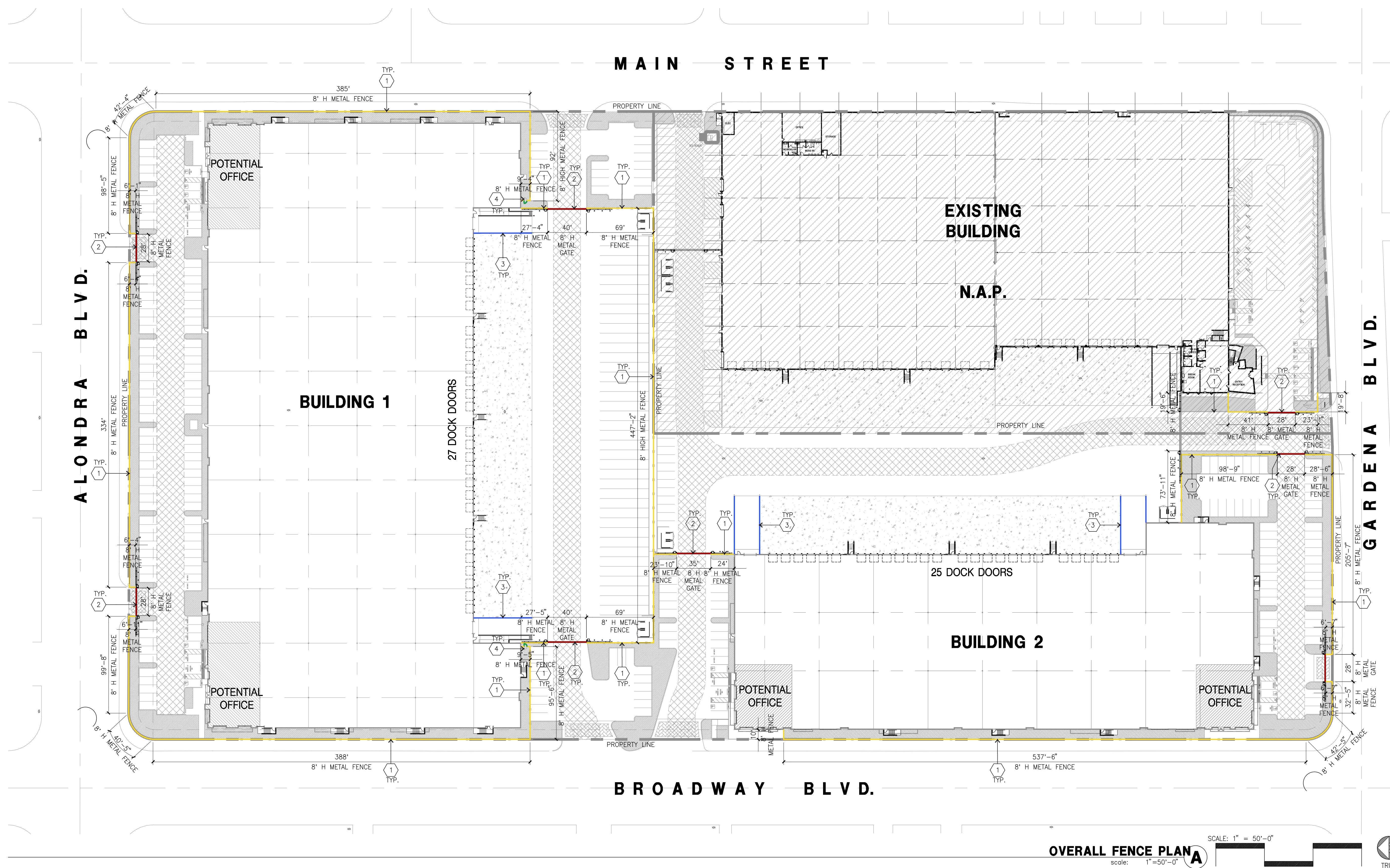
Civil:	THIENES
Structural:	-
Mechanical:	-
Plumbing:	-
Electrical:	-
Landscape:	HUNTER
Fire Protection:	-
Soils Engineer:	-

Title: Overall Fence Plan

Project Number: 20356
Drawn by: JK
Date: 06/25/21
Revision:

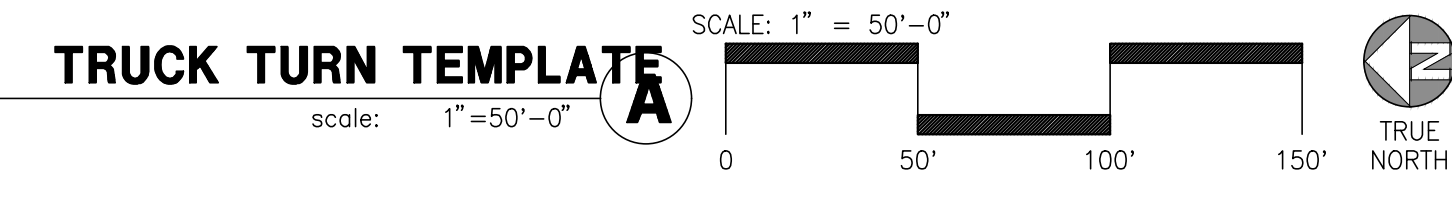
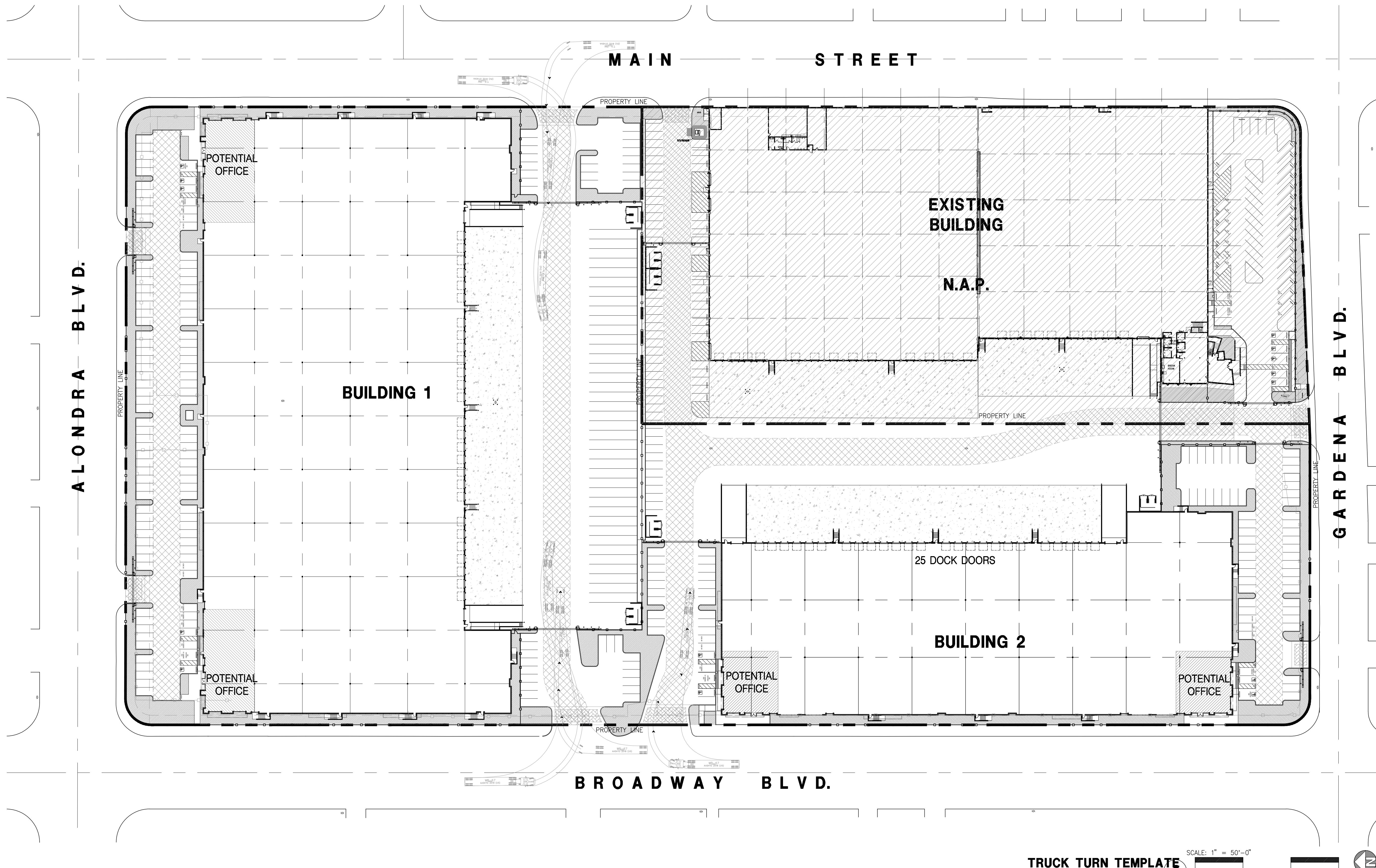
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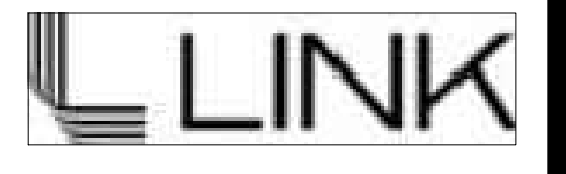
OVERALL FENCE PLAN A
scale: 1" = 50'-0"
SCALE: 1" = 50'-0"
0 50' 100' 150'
TRUE NORTH

LEGEND	SITE PLAN KEYNOTES
	1 8' HIGH METAL FENCE
	2 8' HIGH SLIDING GATE
	3 PROPOSED 42' GUARD WALL
	4 PROPOSED 8' H SWING GATE



hpa, inc.
 18831 bardeen avenue - ste.
 #100 irvine, ca
 92612
 tel: 949-863-1770
 fax: 949-863-0851
 email: hpa@hparchs.com

Owner:



3333 MICHELSON DRIVE, STE 725
 IRVINE, CA 92612

Project:

BROADWAY
 &
 ALONDRA

16325 & 16407 SOUTH MAIN ST.
 CARSON, CA

Consultants:

Civil:	THIENES
Structural:	-
Mechanical:	-
Plumbing:	-
Electrical:	-
Landscape:	HUNTER
Fire Protection:	-
Soils Engineer:	-

Title: Truck Turn Template

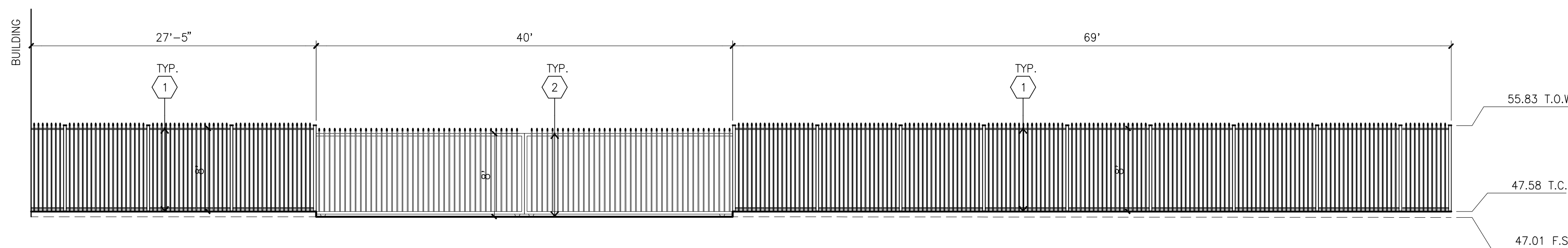
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 Drawn by: JK
 Date: 06/25/21
 Revision:

Sheet:

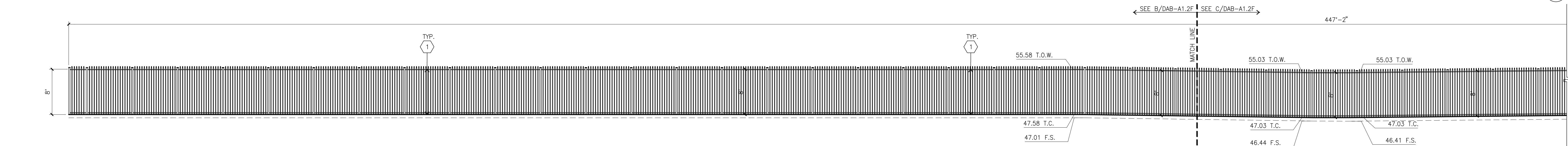
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KEYNOTES - FENCE

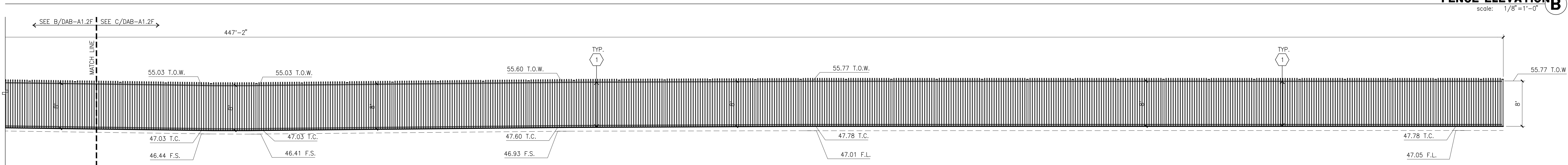
- 1 8' HIGH METAL FENCE.
- 2 8' HIGH METAL GATES W/ KNOX-BOX PER FIRE DEPARTMENT STANDARDS FOR DRIVEWAY.
- 3 8' HIGH METAL SWING GATE.



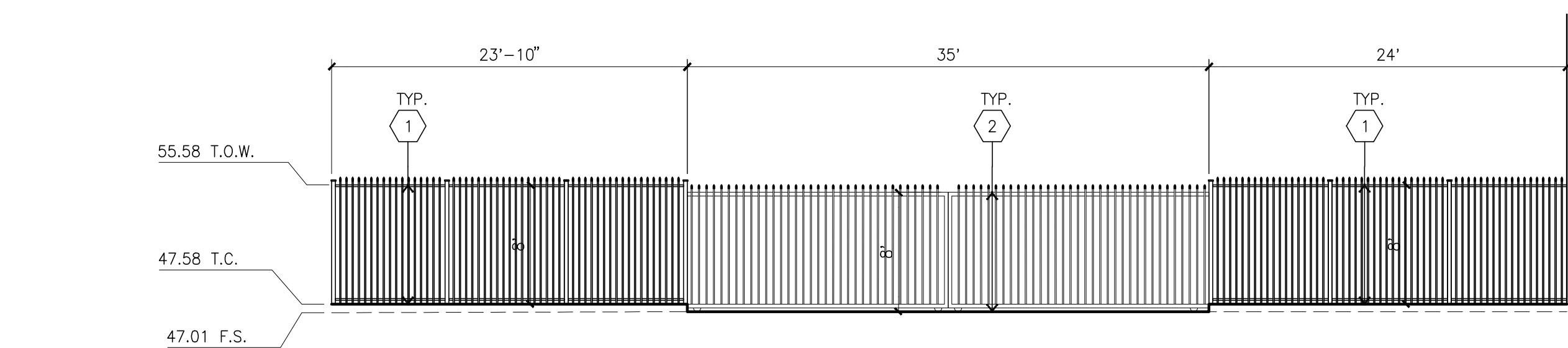
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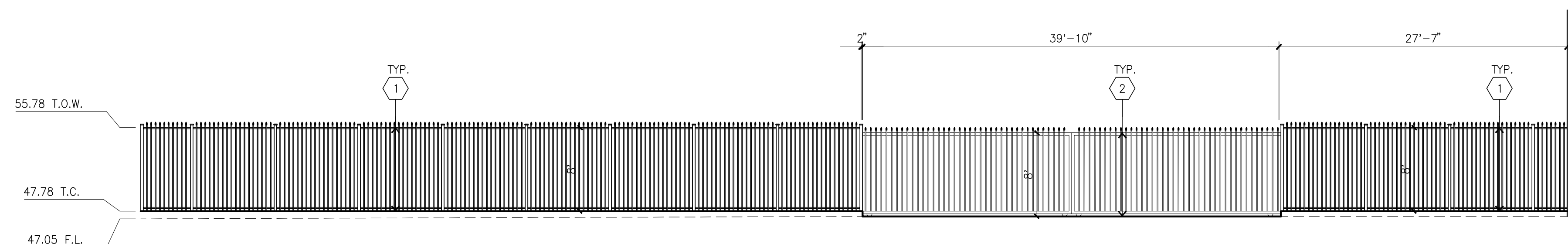
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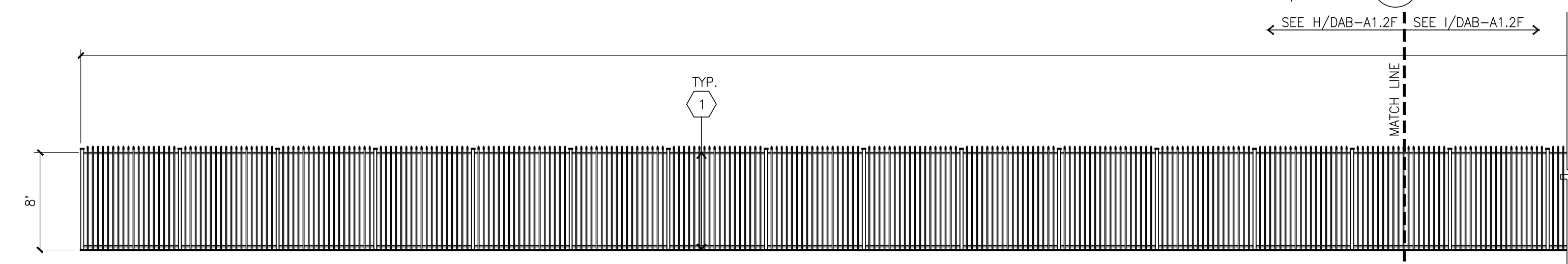
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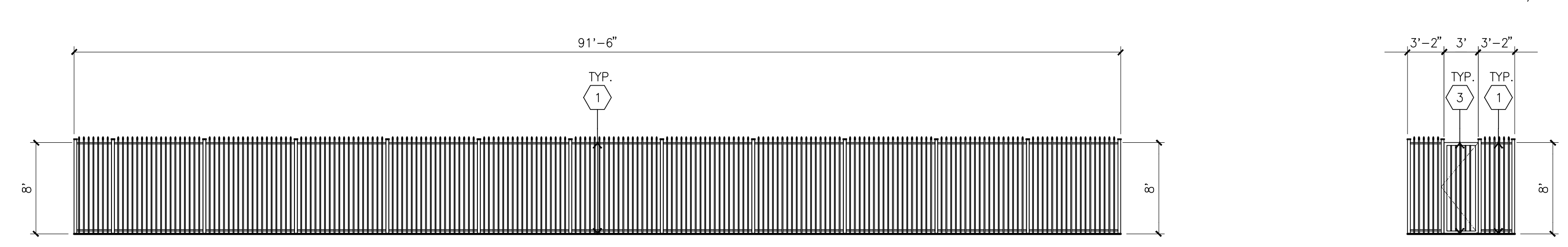
WROUGHT IRON FENCE & GATE ELEVATION E
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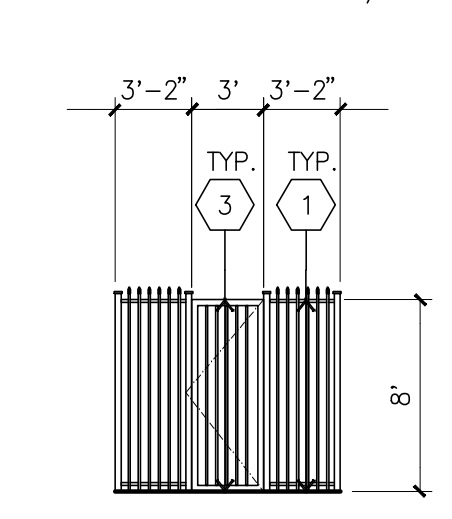
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FENCE ELEVATION H
scale: 1/8"=1'-0"

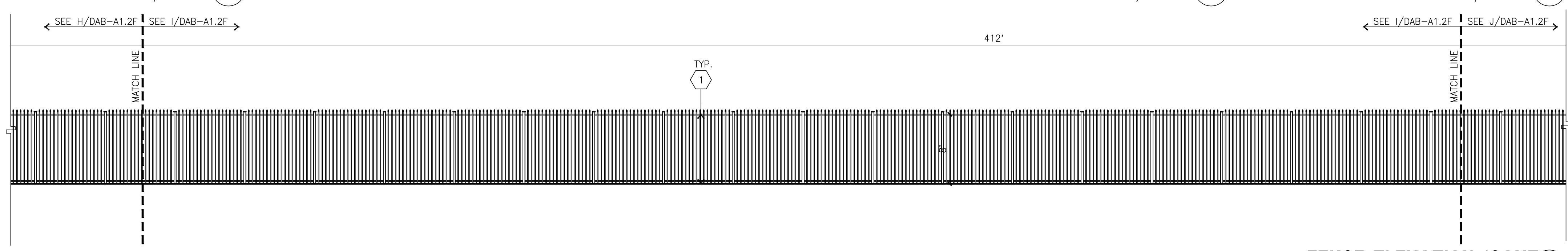
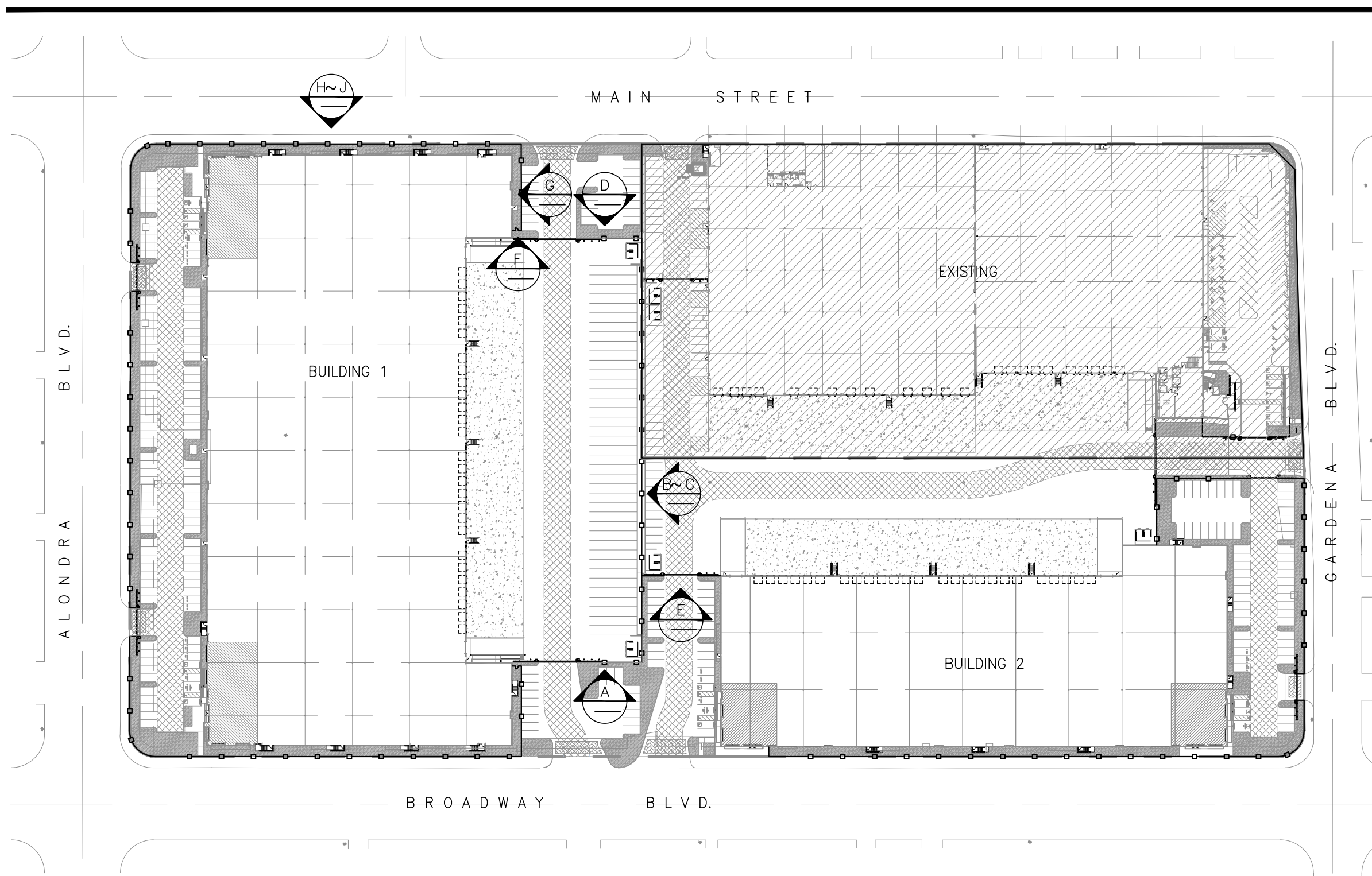


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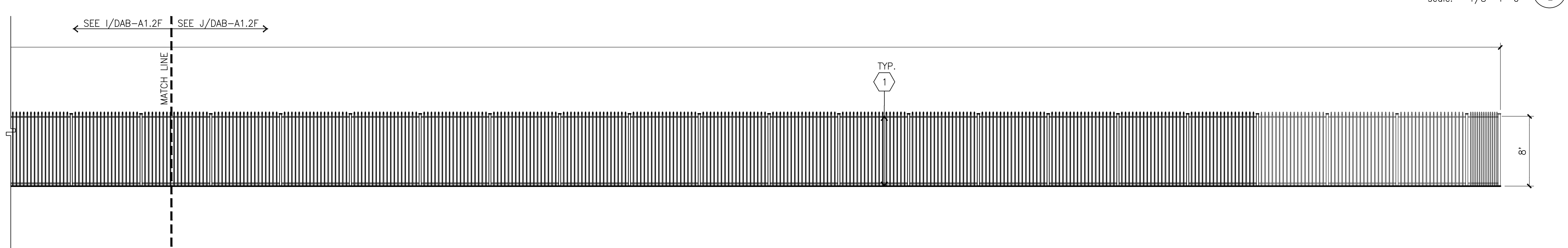


FENCE ELEVATION F
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KEYPLAN



FENCE ELEVATION (CONT) I
scale: 1/8"=1'-0"



FENCE ELEVATION (CONT) J
scale: 1/8"=1'-0"



hpa, inc.
18831 bardeen avenue - ste.
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Owner:

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IRVINE, CA 92612

Project:

**BROADWAY
&
ALONDRA**

16325 & 16407 SOUTH MAIN ST.
CARSON, CA

Consultants:

Civil:	THIENES
Structural:	-
Mechanical:	-
Plumbing:	-
Electrical:	-
Landscape:	HUNTER
Fire Protection:	-
Soils Engineer:	-

Title: Fence Elevation

Project Number: 20356
Drawn by: JK
Date: 06/25/21
Revision:

Sheet:

DAB-A1.2F

Owner:

3333 MICHELSON DRIVE, STE 725
IRVINE, CA 92612

Project:

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&
ALONDRA**

16325 & 16407 SOUTH MAIN ST.
CARSON, CA

Consultants:

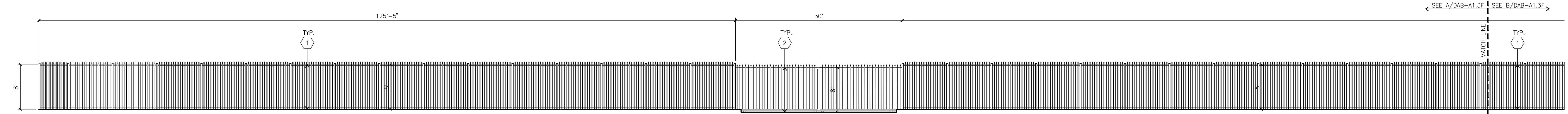
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Landscape:	HUNTER
Fire Protection:	-
Soils Engineer:	-

Title: Fence Elevation

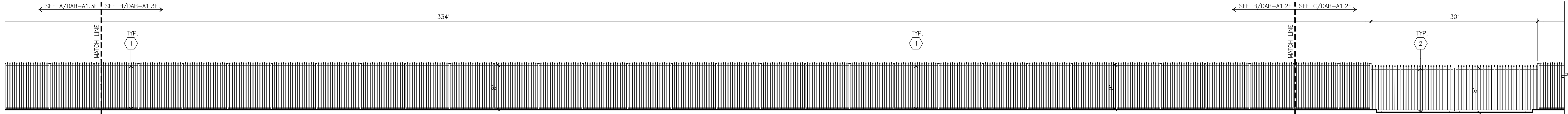
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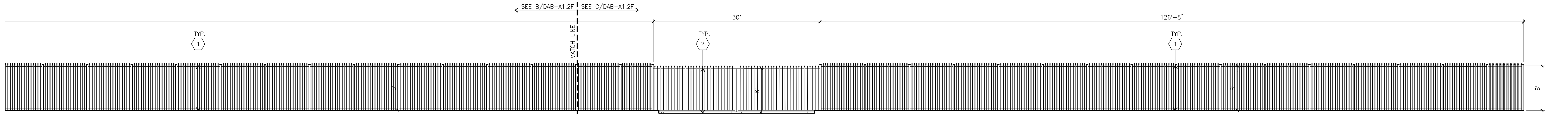
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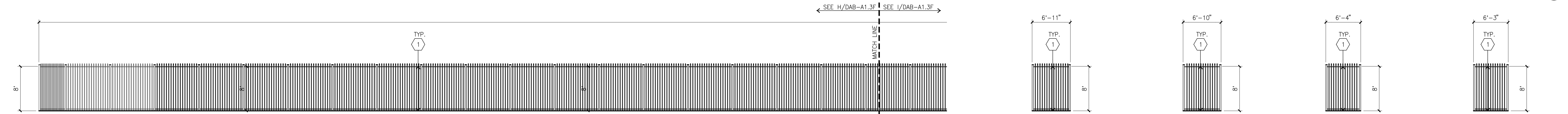
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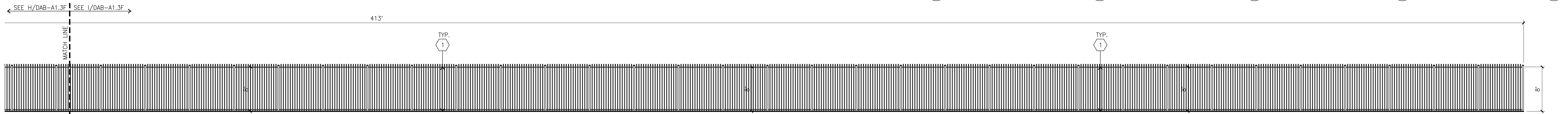
FENCE & GATE ELEVATION (CONT) B
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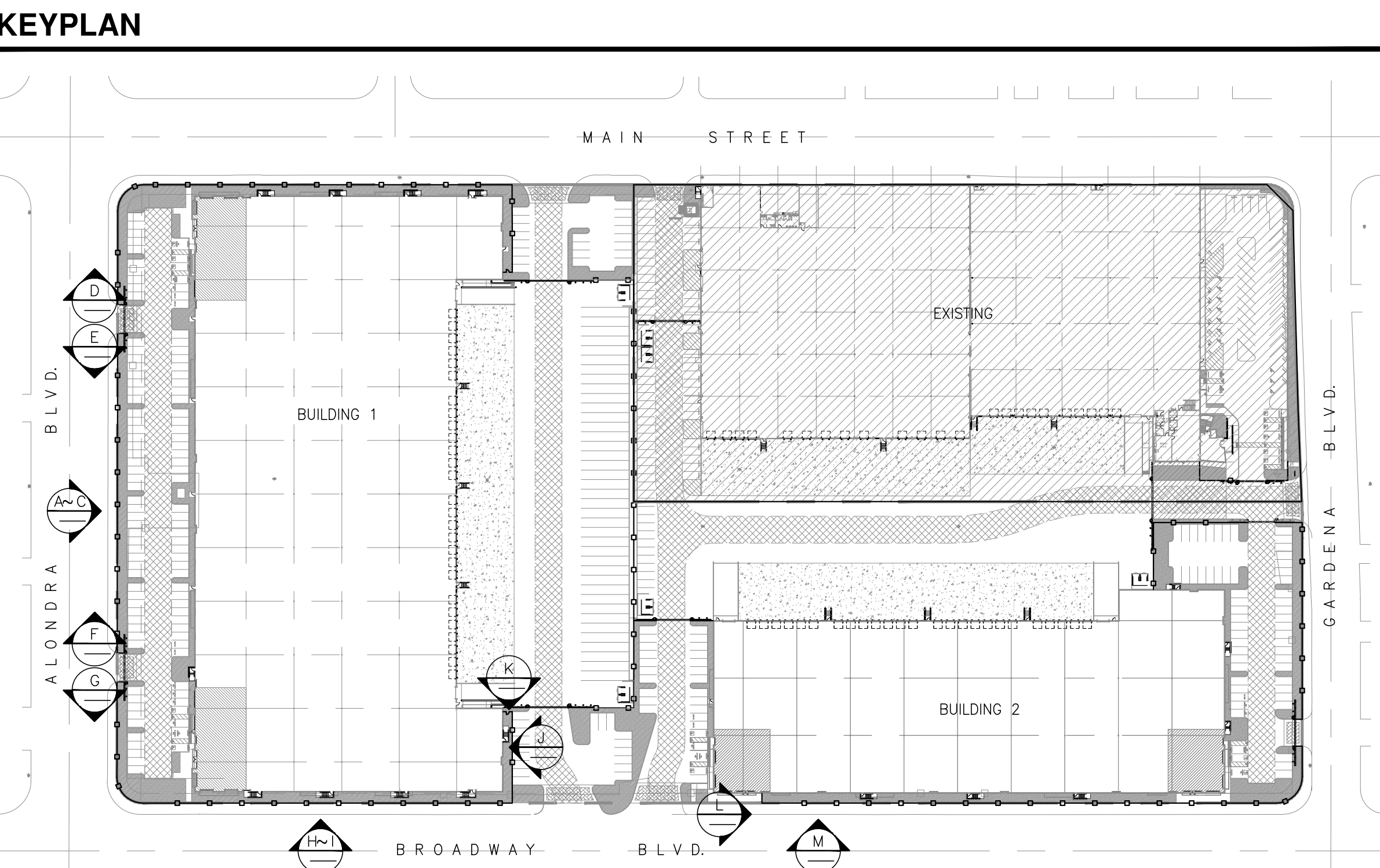
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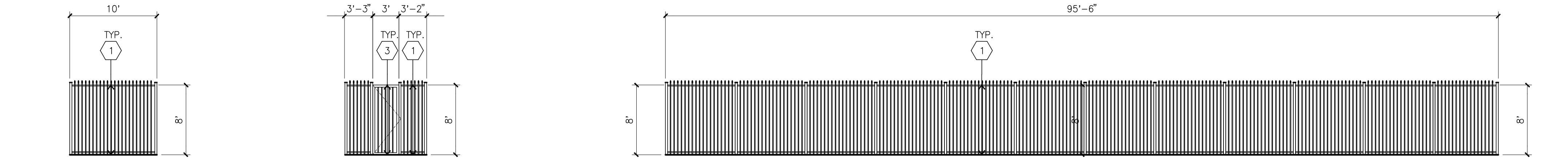
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FENCE ELEVATION E scale: 1/8"=1'-0"
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FENCE ELEVATION G scale: 1/8"=1'-0"
FENCE ELEVATION H scale: 1/8"=1'-0"



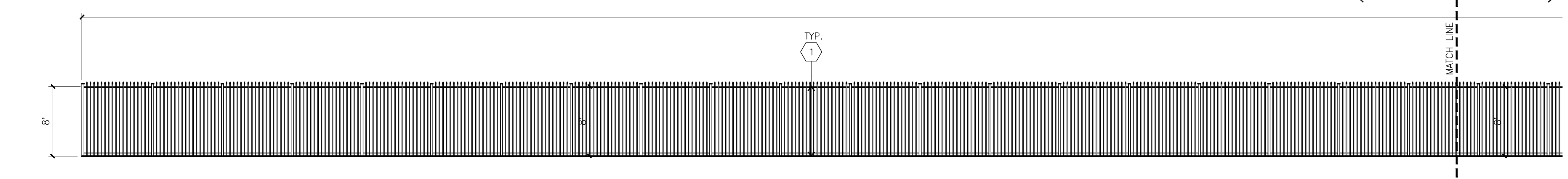
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KEYPLAN



FENCE ELEVATION J scale: 1/8"=1'-0"
FENCE ELEVATION K scale: 1/8"=1'-0"
FENCE ELEVATION L scale: 1/8"=1'-0"



FENCE ELEVATION (CONT) M
scale: 1/8"=1'-0"

KEYNOTES - FENCE

- 1 8' HIGH METAL FENCE.
- 2 8' HIGH METAL GATES W/ KNOX-BOX PER FIRE DEPARTMENT STANDARDS PER DRIVEWAY.
- 3 8' HIGH METAL SWING GATE.

CAUTION : IF THIS SHEET IS NOT A 30" X 42" IT IS A REDUCED PRINT

Owner:

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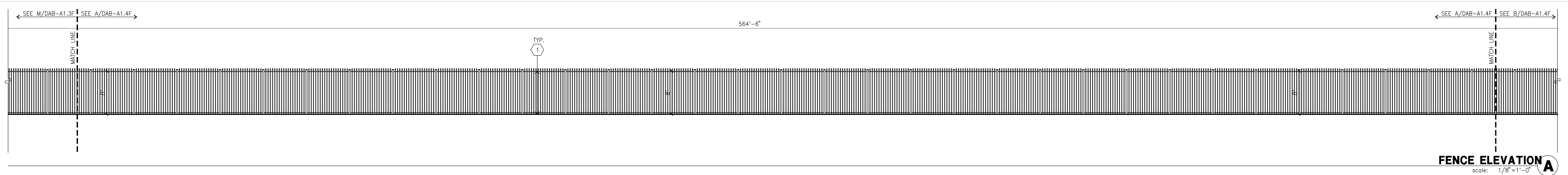
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Structural:	-
Mechanical:	-
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Electrical:	-
Landscape:	HUNTER
Fire Protection:	-
Soils Engineer:	-

Title: Fence Elevation

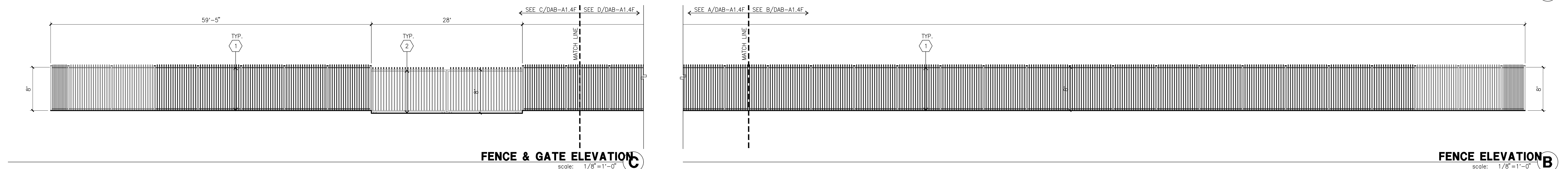
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Drawn by: JK
Date: 06/25/21
Revision:

Sheet:

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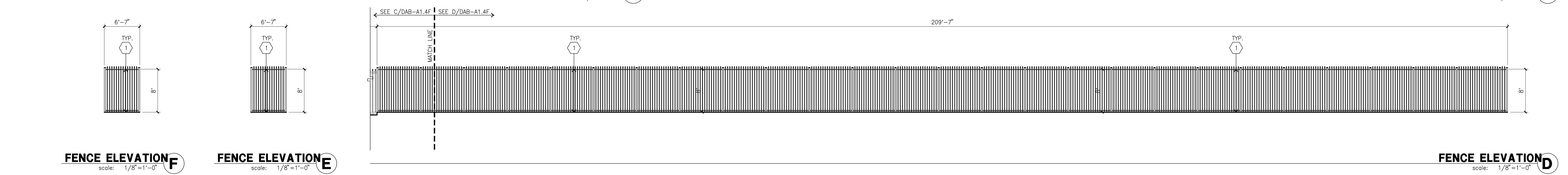


FENCE ELEVATION A
scale: 1/8"=1'-0"



FENCE & GATE ELEVATION C
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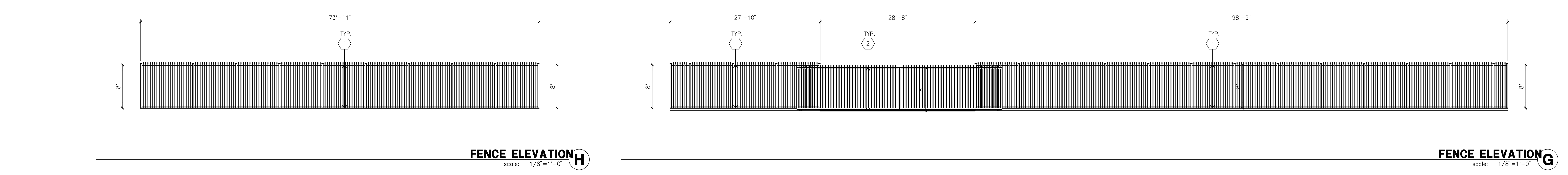
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FENCE ELEVATION F
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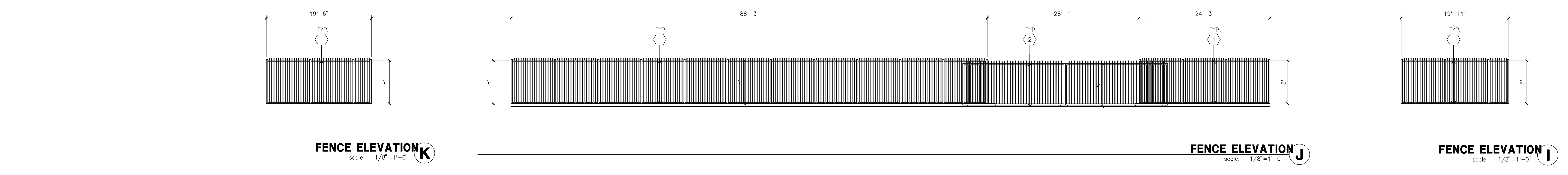
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FENCE ELEVATION D
scale: 1/8"=1'-0"



FENCE ELEVATION H
scale: 1/8"=1'-0"

FENCE ELEVATION G
scale: 1/8"=1'-0"

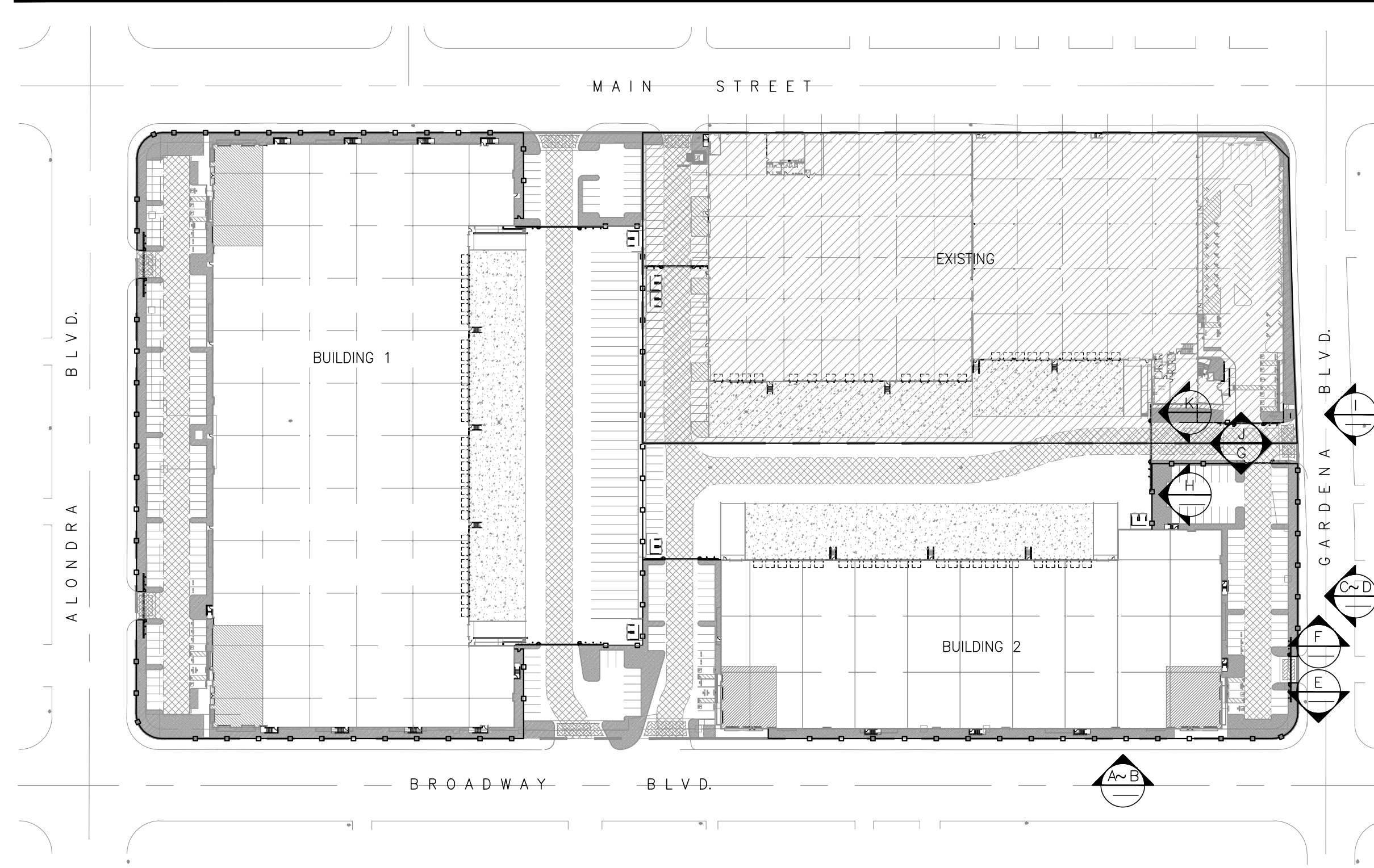


FENCE ELEVATION K
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FENCE ELEVATION J
scale: 1/8"=1'-0"

FENCE ELEVATION I
scale: 1/8"=1'-0"

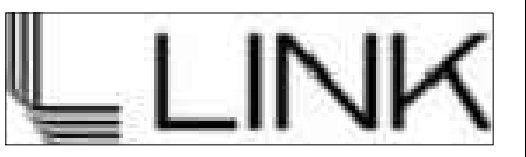
KEYPLAN



KEYNOTES - FENCE

- ① 8" HIGH METAL FENCE.
- ② 8" HIGH METAL GATES W/ KNOX-BOX PER FIRE DEPARTMENT STANDARDS PER DRIVEWAY.
- ③ 8" HIGH METAL SWING GATE.

Owner:



3333 MICHELSON DRIVE , STE 725
IRVINE, CA 92612

Project:

**BROADWAY
&
ALONDRA**

16325 & 16407 SOUTH MAIN ST.
CARSON, CA

Consultants:

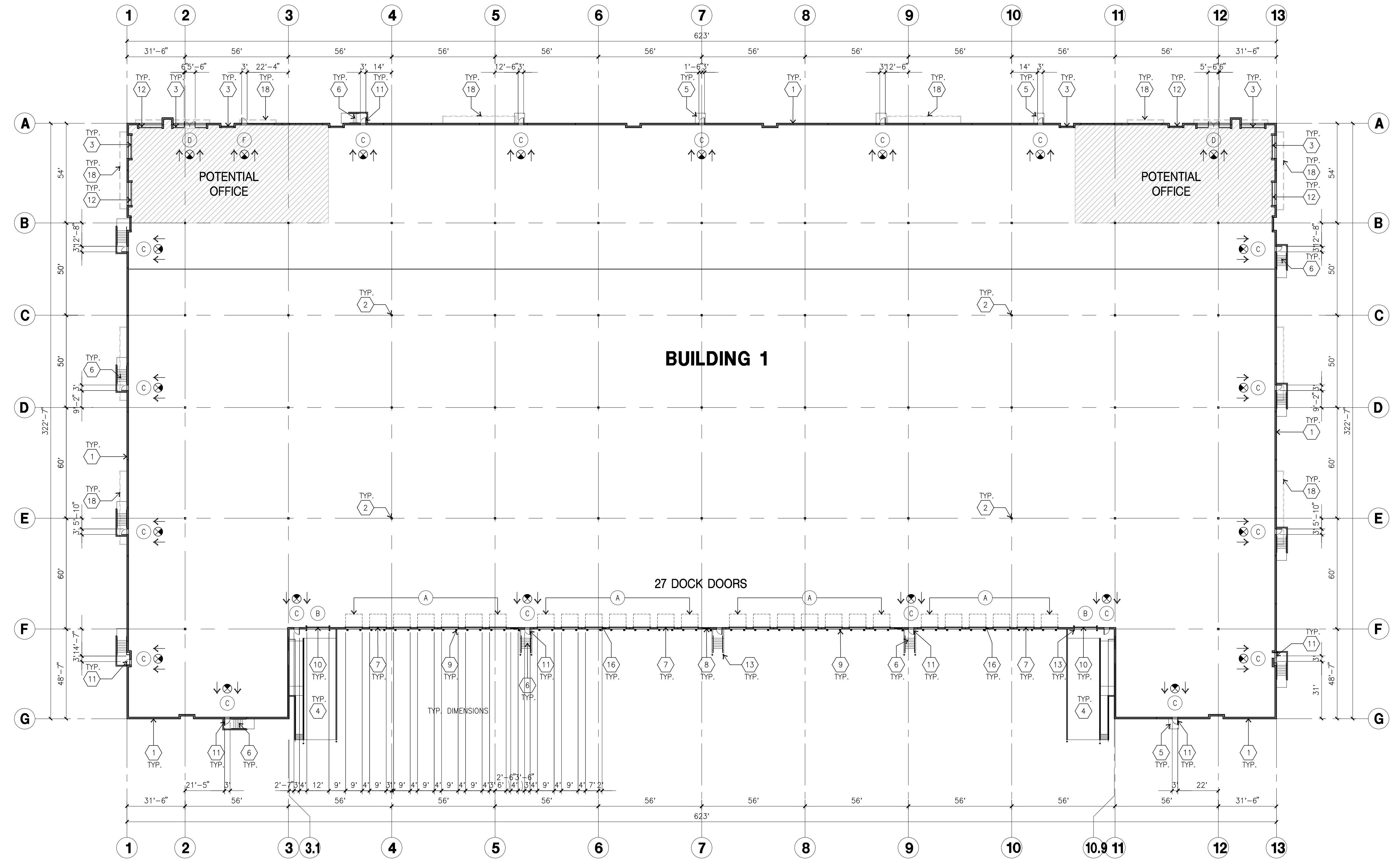
Civil:	THIENES
Structural:	-
Mechanical:	-
Plumbing:	-
Electrical:	-
Landscape:	HUNTER
Fire Protection:	-
Soils Engineer:	-

Title: Overall Floor Plan

Project Number: 20356
Drawn by: JK
Date: 06/25/21
Revision:

Sheet:

1-DAB-A2.1



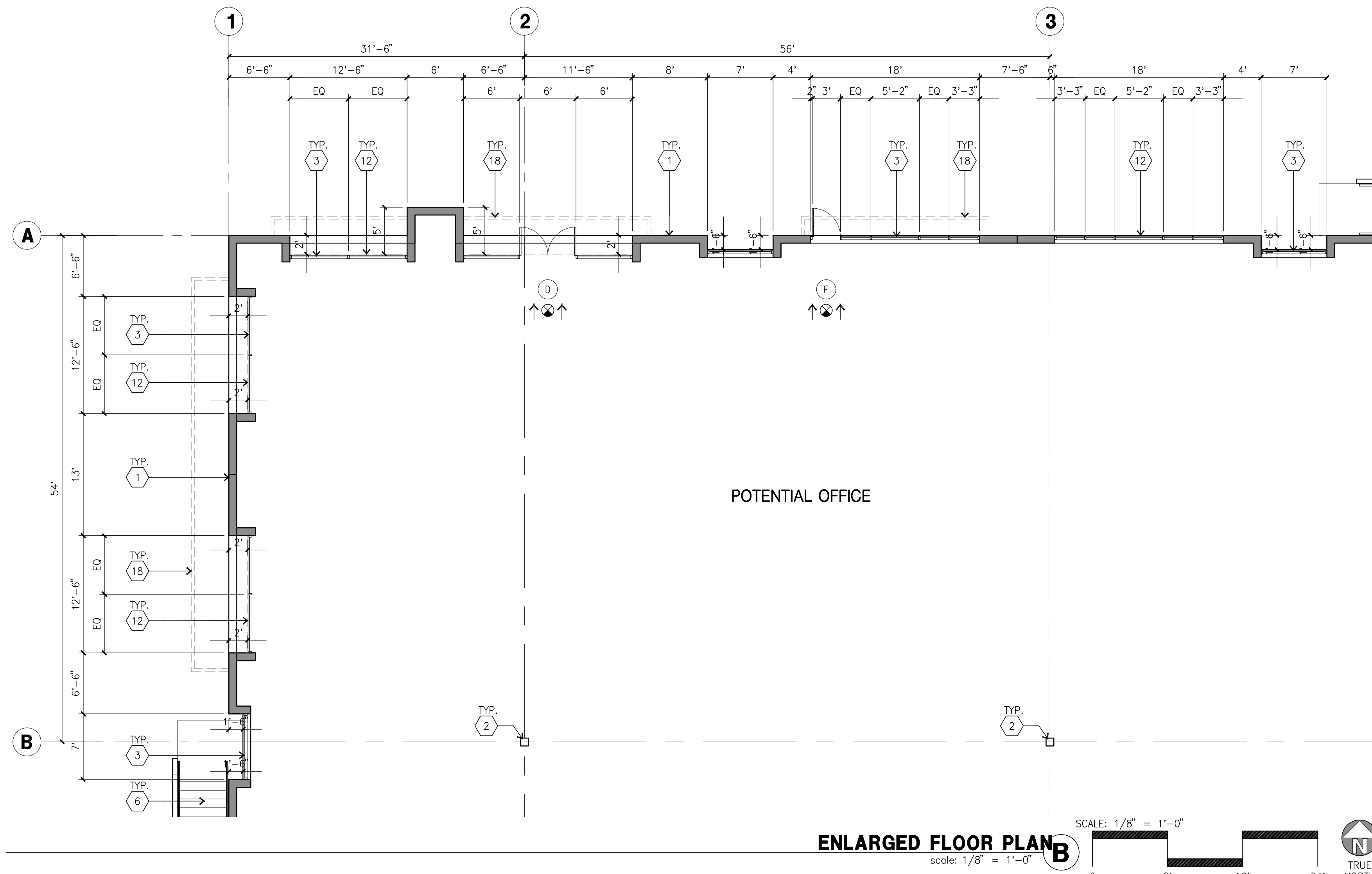
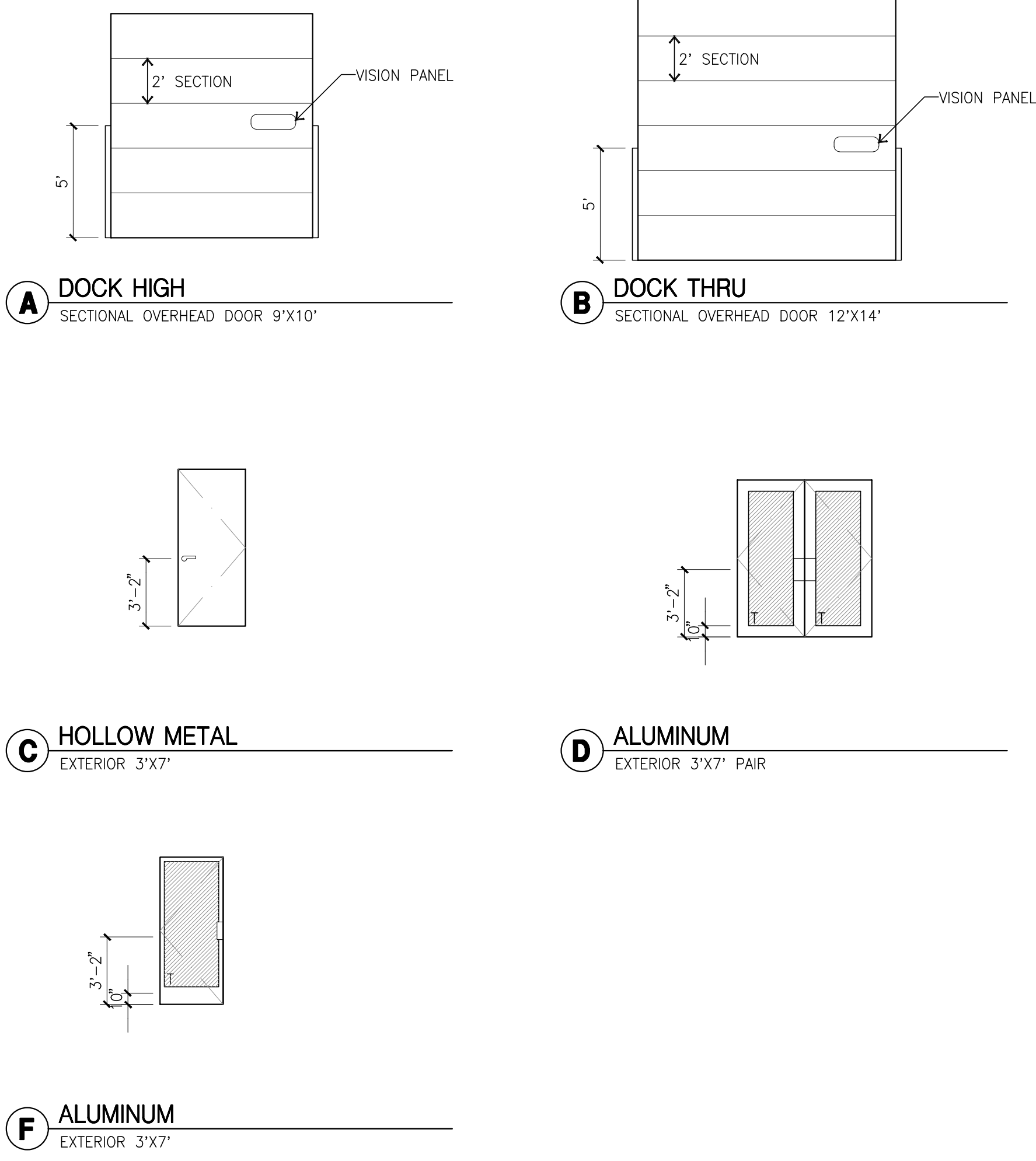
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- 2 STRUCTURAL STEEL COLUMN.
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13. NON-ACCESSIBLE DOOR. PROVIDE WARNING SIGN LOCATED IN THE INTERIOR SIDE PER CBC 1133B.1.1.1
14. ALL ROOF MOUNTED MATERIALS SHALL BE FULLY SCREENED FROM PUBLIC VIEW, SEE B/DAB-A4.1 OFFICE SECTION.

DOOR LEGEND



FLOOR SLAB & POUR STRIPS REQ.

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 - B. 3/4" - 16" LONG @ 12" O.C. DOWELS AT ALL CONSTRUCTION JOINTS
 - C. 3/4" - 16" LONG @ 24" O.C. DOWELS IN DOWEL BASKET AT ALL CONTROL JOINTS.
 - D. 4,000 P.S.I. REQUIREMENT.
 - E. SLUMP TO BE 4" +/- 1"
 - F. JOINT SPACING PER A.C.I. 302-IR-96
 - G. SAW-CUT DEPTH 1/4 T; SOFT SAW-CUTTING WITHIN 2 HRS OF FINISHING
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 12. CONCRETE SLAB IN FUTURE OFFICE AREAS, WHERE SAND OVER VIOQUEEN ARE REQUIRED, SHALL BE NATURALLY HYDRATED WITHOUT USE OF BURLINE, CURING COMPOUND, OR RELEASE AGENTS.
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 12. SEAL CONCRETE SLAB W/ "LIPIDOLITH" SEALER

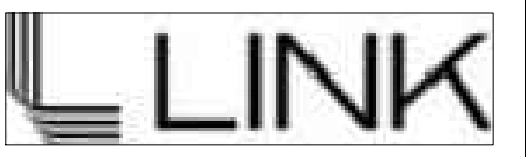
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12. SEAL CONCRETE SLAB W/ "LIPIDOLITH" SEALER

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Project:

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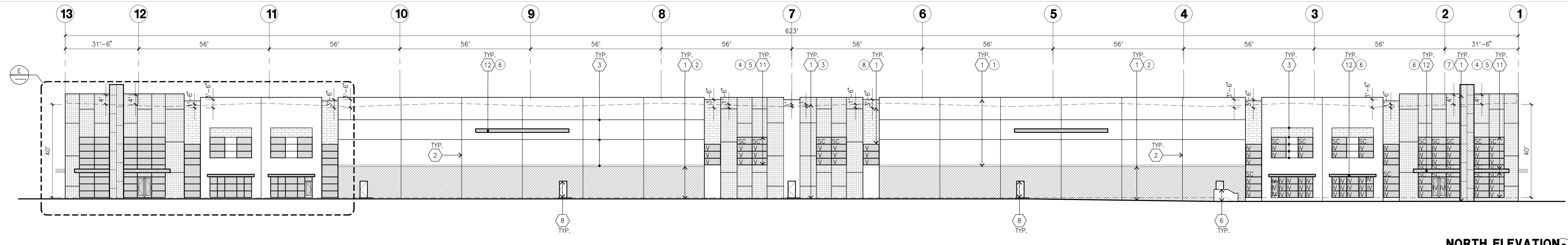
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- Structural: -
- Mechanical: -
- Plumbing: -
- Electrical: -
- Landscape: HUNTER
- Fire Protection: -
- Soils Engineer: -

Title: Elevations

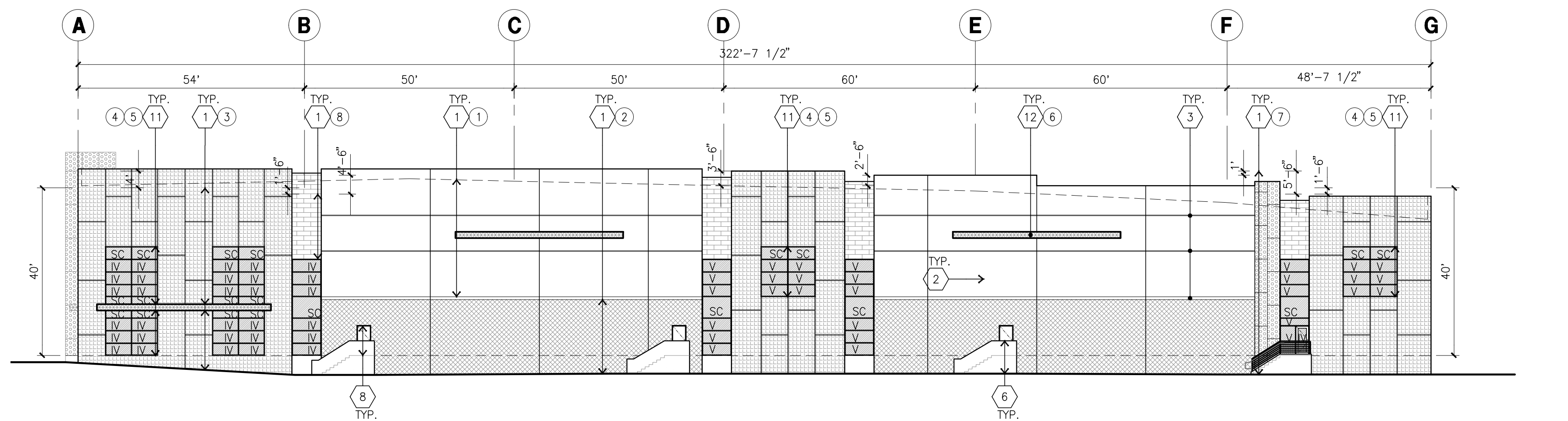
Project Number: 20356
Drawn by: JK
Date: 06/25/21
Revision:

Sheet:

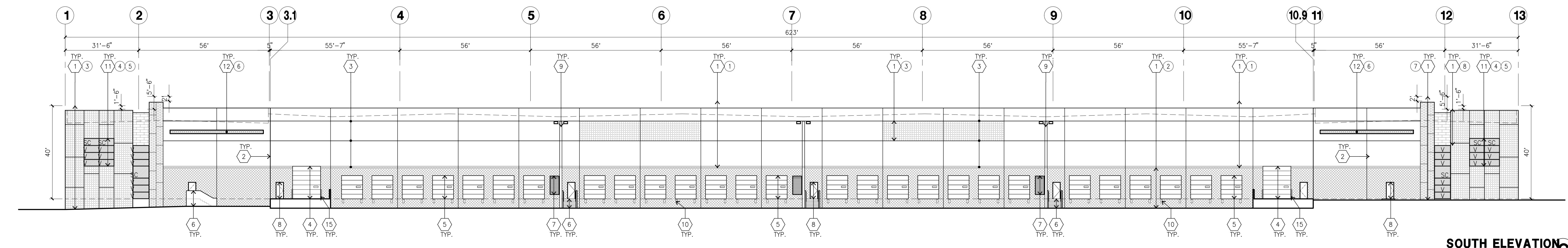
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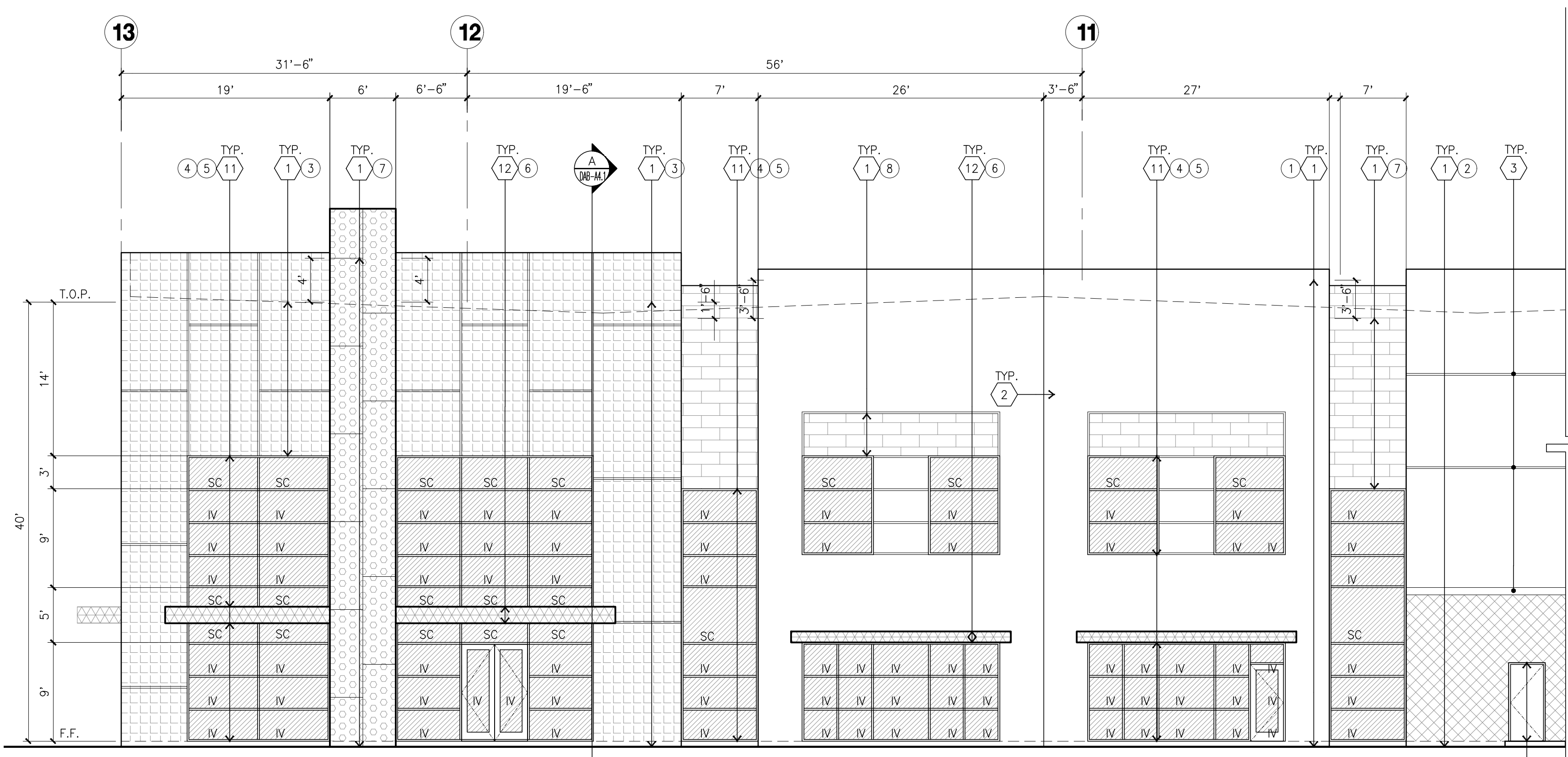
NORTH ELEVATION A
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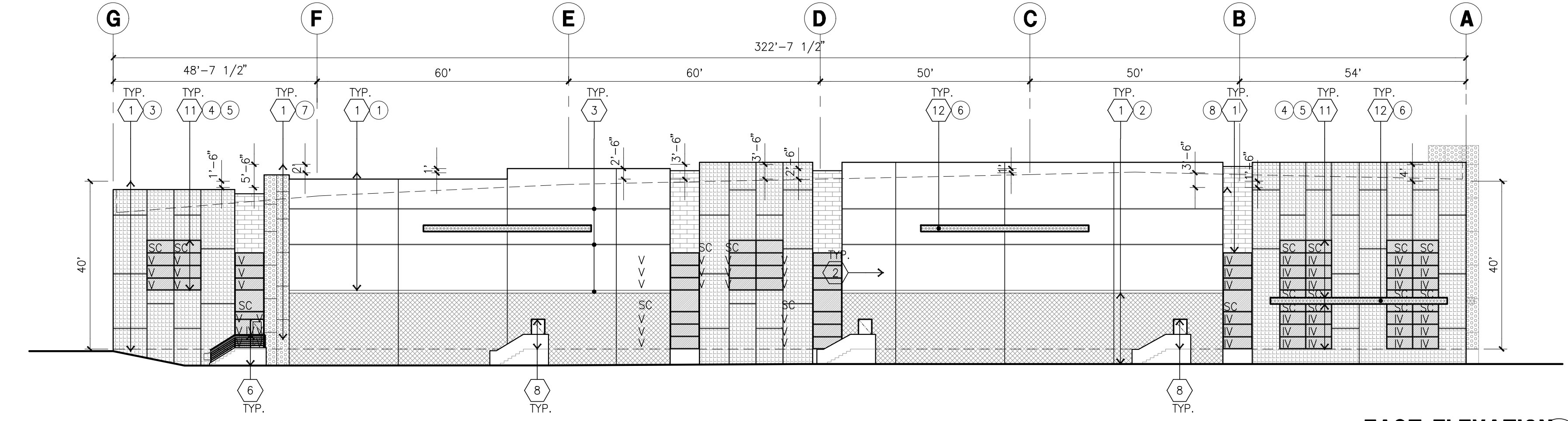
WEST ELEVATION B
scale: 1"=20'-0"



SOUTH ELEVATION C
scale: 1"=20'-0"



ENLARGED NORTH ELEVATION E
scale: 1/8" = 1'-0"



EAST ELEVATION D
scale: 1"=20'-0"

ELEVATION KEYNOTES

- 1 CONCRETE TILT-UP PANEL.
- 2 PANEL JOINT.
- 3 PANEL REVEAL. ALL REVEALS TO HAVE A MAX. OF 3/8" CHAMFER. REVEAL COLOR TO MATCH ADJACENT BUILDING FIELD COLOR. U.N.O. 12" X 14" OVERHEAD DOOR @ DRIVE THRU. PROVIDE COMPLETE WEATHER-STRIPPING PROTECTION ALL AROUND.
- 4 WEATHER-STRIPPING DOOR @ DRIVE THRU. PROVIDE COMPLETE 9" X 10" OVERHEAD DOOR @ DRIVE THRU. PROVIDE COMPLETE WEATHER-STRIPPING PROTECTION ALL AROUND.
- 5 CONCRETE STAIR, LANDING AND GUARDRAIL W/ METAL PIPE HANDRAIL. PROVIDE NON SKID NOSING TO MEET ADA REQUIREMENTS. PROVIDE CONTRASTING COLORED 3" WIDE WARNING STRIPE INTEGRAL TO CONCRETE AT TOP LANDING AND BOTTOM TREAD PER ADA REQUIREMENTS.
- 6 4" X 8" METAL LOUVER OPENING FOR VENTILATION. PAINT TO MATCH BUILDING COLOR.
- 7 HOLLOW METAL DOORS. PROVIDE COMPLETE WEATHER STRIPPING ALL AROUND DOOR.
- 8 EXTERIOR DOWN SPOUTS W/ 2 OVERFLOW SCUPPERS.
- 9 DOCK DOOR BUMPER TYPICAL.
- 10 ALUMINUM STOREFRONT FRAMING WITH TEMPERED GLAZING AT ALL DOORS. SIDELITES ADJACENT TO DOORS AND GLAZING WITH BOTTOMS LESS THAN 18" ABOVE FINISH FLOOR ELEVATION.
- 11 METAL CANOPY.
- 12 NOT USED.
- 13 INTERIOR ROOF DRAIN W/ 2 OVERFLOW SCUPPERS.
- 14 CONC. FILLED GUARD POST. 6" DIA. U.N.O., 42"H.

ELEVATION GENERAL NOTES

1. ALL PAINT COLOR CHANGES TO OCCUR AT INSIDE CORNERS UNLESS NOTED OTHERWISE.
2. ALL PAINT FINISHES ARE TO BE FLAT UNLESS NOTED OTHERWISE.
3. T.O.P. EL. = TOP OF PARAPET ELEVATION.
4. F.F. = FINISH FLOOR ELEVATION.
5. STOREFRONT CONSTRUCTION: GLASS, METAL ATTACHMENTS AND LINTELS SHALL BE DESIGNED TO RESIST - MPH. EXPOSURE "C" WINDS. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS PRIOR TO INSTALLATION.
6. CONTRACTOR SHALL FULLY PAINT ONE CONCRETE PANEL W/ SELECTED COLORS. ARCHITECT AND OWNER SHALL APPROVE PRIOR TO PAINTING REMAINDER OF BUILDING.
7. BACK SIDE OF PARAPETS TO HAVE SMOOTH FINISH AND BE PAINTED WITH ELASTOMERIC PAINT.
8. FOR SPANDREL GLAZING, ALLOW SPACE BEHIND SPANDREL TO BREATHE.
9. USE ADHESIVE BACK WOOD STRIPS FOR ALL REVEAL FORMS.
10. THE FIRST COAT OF PAINT TO BE ROLLED-ON AND THE SECOND COAT TO BE SPRAYED-ON

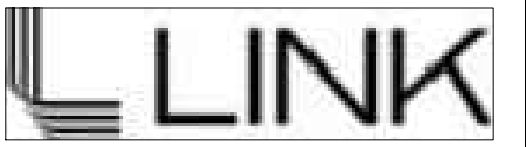
ELEVATION COLOR LEGEND/SCHED.

- 1 PAINT, COLOR : SW 7636 ORIGAMI WHITE
- 2 PAINT, COLOR : SW 6002 ESSENTIAL GRAY
- 3 PAINT, COLOR : SW 2819 DOWNING SLATE
- 4 MULLIONS COLOR : SW 6993 BLACK OF NIGHT
- 5 BLUE REFLECTIVE GLAZING
- 6 METAL CANOPY: SHERWIN WILLIAMS ACRYLIC LATEX SYSTEMS HIGH GLOSS/HIGH PERFORMANCE SW 6993 BLACK OF NIGHT IN COLOR
- 7 CORE 10 STEEL
- 8 ARIZONA TILE LEGNO WALNUT 8"X40"X10MM

GLAZING LEGEND

- NOTE: ALL EXTERIOR AND INTERIOR GLAZING SHALL BE TEMPERED.
- IV INSULATED VISION GLASS
 - IV 1/4" VISTACOL PACIFICA + 1/4" SOLARBAN 60 CLEAR
 - IV 1" INSULATED GLASS UNIT WITH 1/2" AIRSPACE AND 1/4" LITES
 - IV U: 0.27 SPOC: 0.21 VET: 26%
 - MINIMUM VT TO BE 0.42 PER 2015 CEC TABLE 140.3-B
 - SC : SPANDREL WITH CONCRETE BEHIND
 - SC 1/4" VISTACOL PACIFICA WITH HARMONY BLUE OPACICOAT PAINTED ON REFLECTIVE. INSTALLED ON CONCRETE.
 - V : VISION GLASS
 - V 1/4" VISTACOL PACIFICA
 - MULLIONS : ANODIZED CLEAR.
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Owner:



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Project:

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CARSON, CA

Consultants:

Civil:	THIENES
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Mechanical:	-
Plumbing:	-
Electrical:	-
Landscape:	HUNTER
Fire Protection:	-
Soils Engineer:	-

Title: Overall Floor Plan

Project Number: 20356
Drawn by: JK
Date: 06/25/21
Revision:

Sheet:

2-DAB-A2.1

FLOOR PLAN KEYNOTES

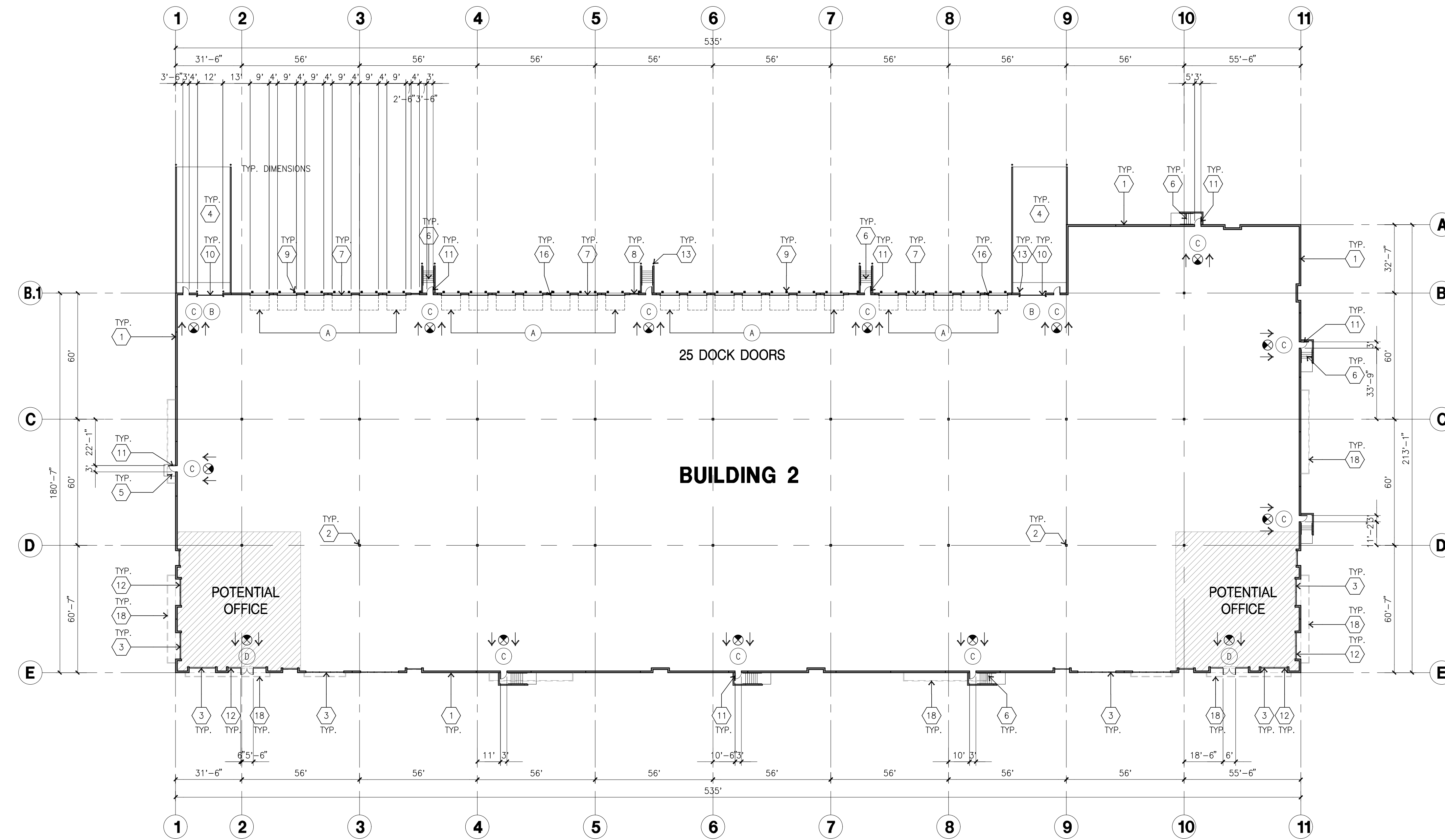
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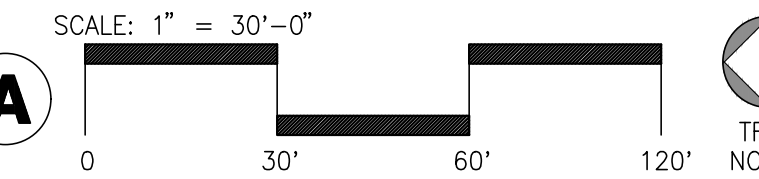
FLOOR SLAB & POUR STRIPS REQ.

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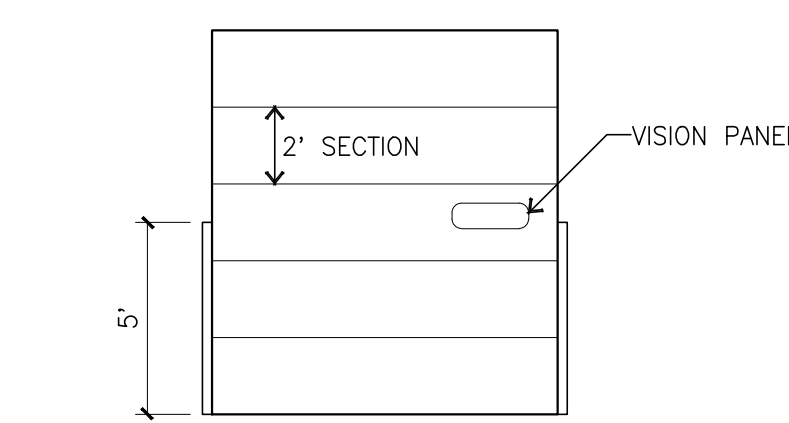


OVERALL FLOOR PLAN A

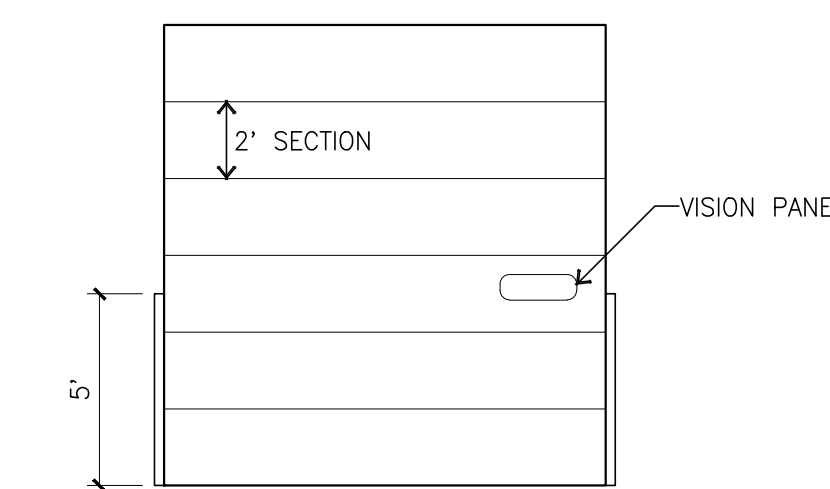
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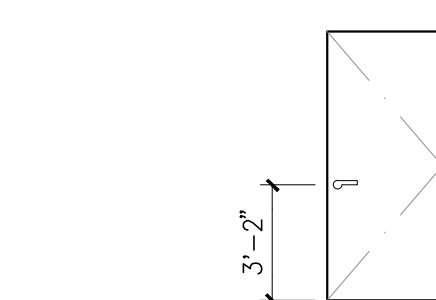
DOOR LEGEND



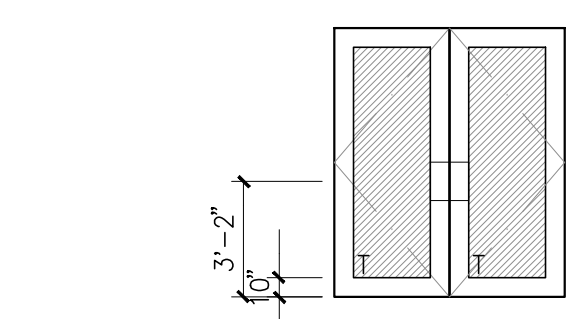
A DOCK HIGH
SECTIONAL OVERHEAD DOOR 9'X10'



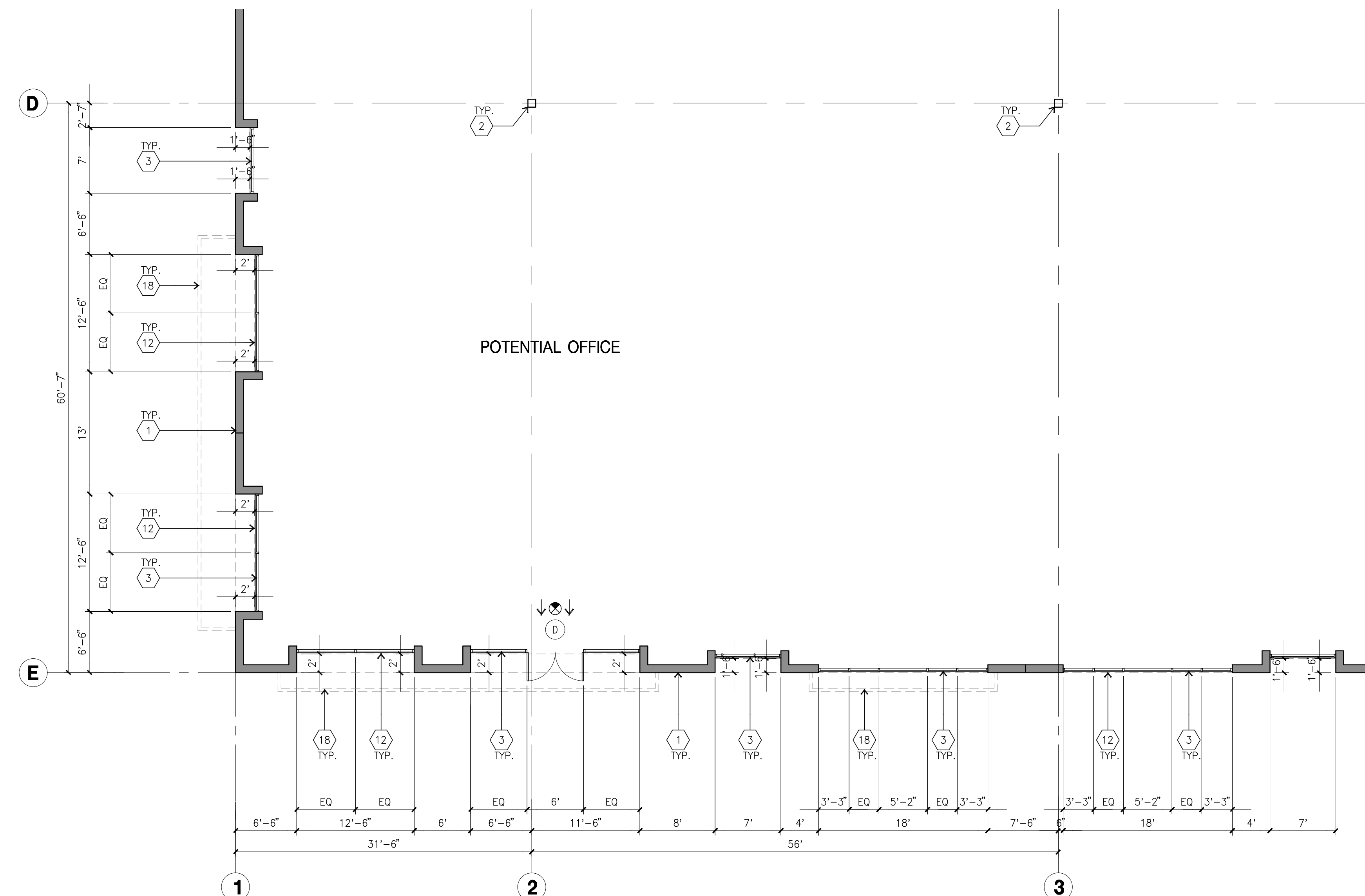
B DOCK THRU
SECTIONAL OVERHEAD DOOR 12'X14'



C HOLLOW METAL
EXTERIOR 3'X7'

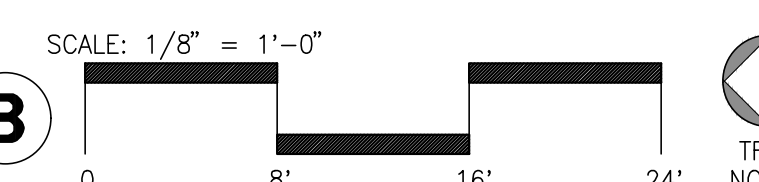


D ALUMINUM
EXTERIOR 3'X7' PAIR



ENLARGED FLOOR PLAN B

scale: 1/8" = 1'-0"



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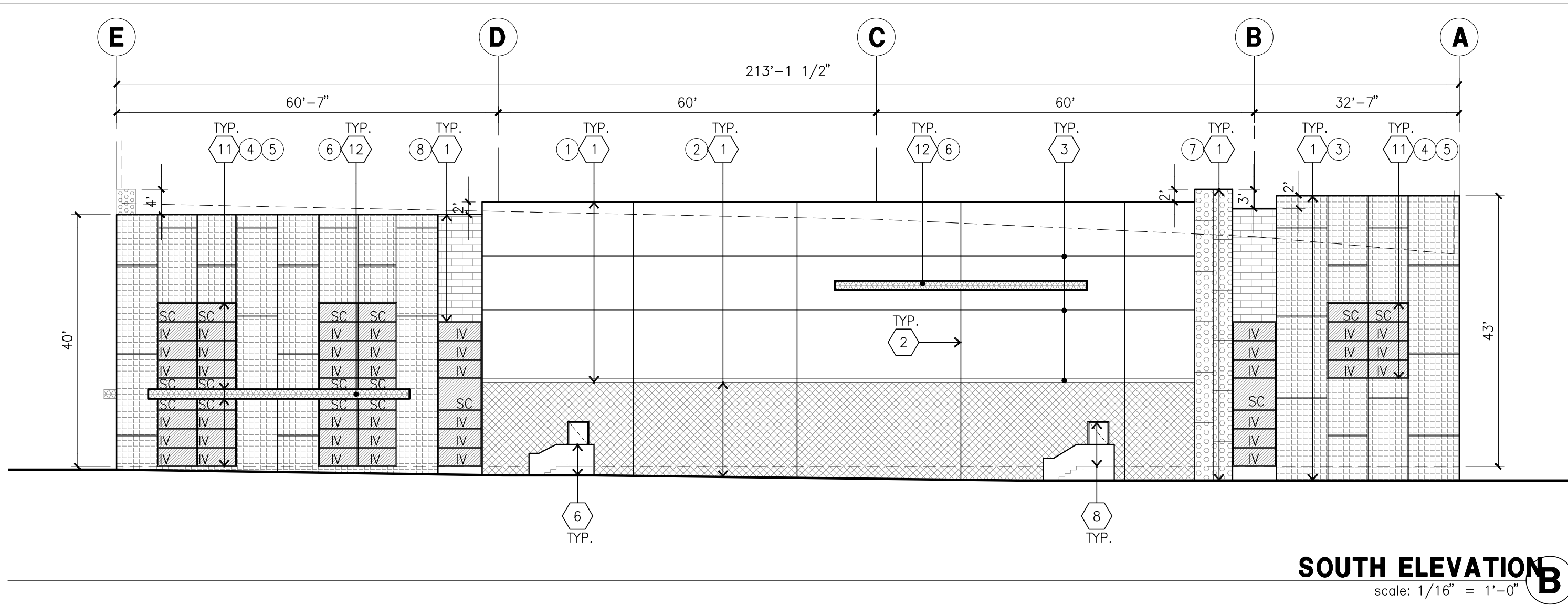
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Project Number: 20356
Drawn by: JK
Date: 06/25/21
Revision:

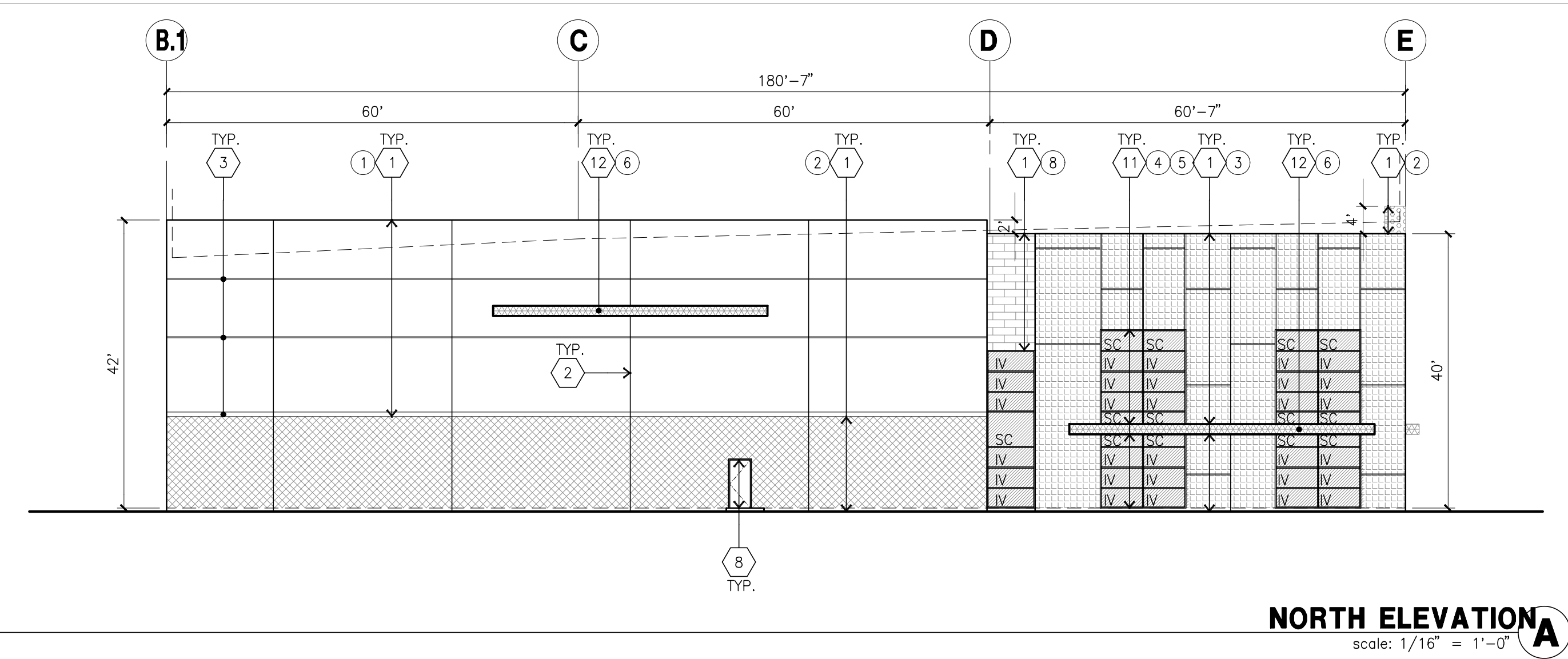
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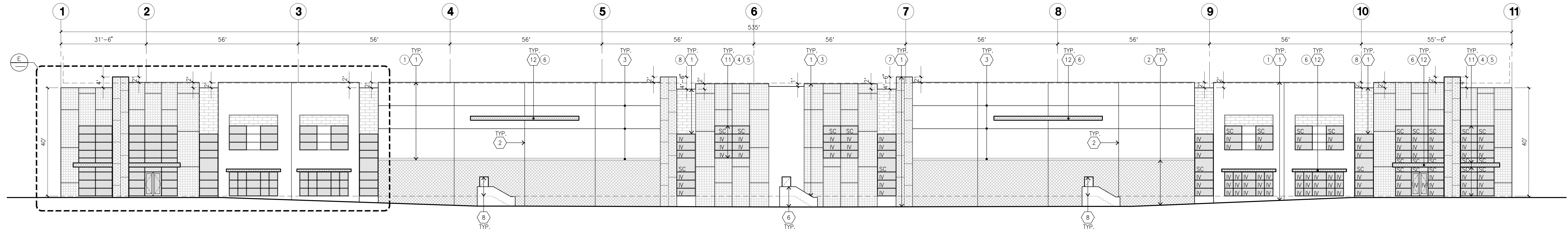
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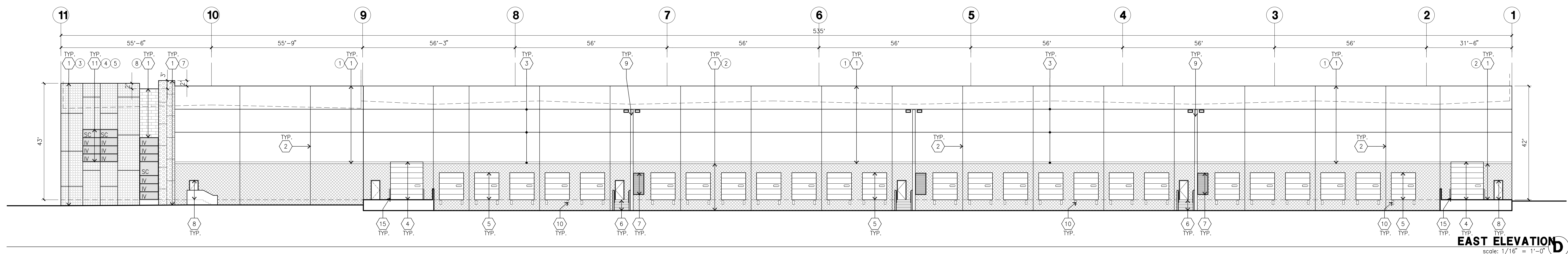
SOUTH ELEVATION
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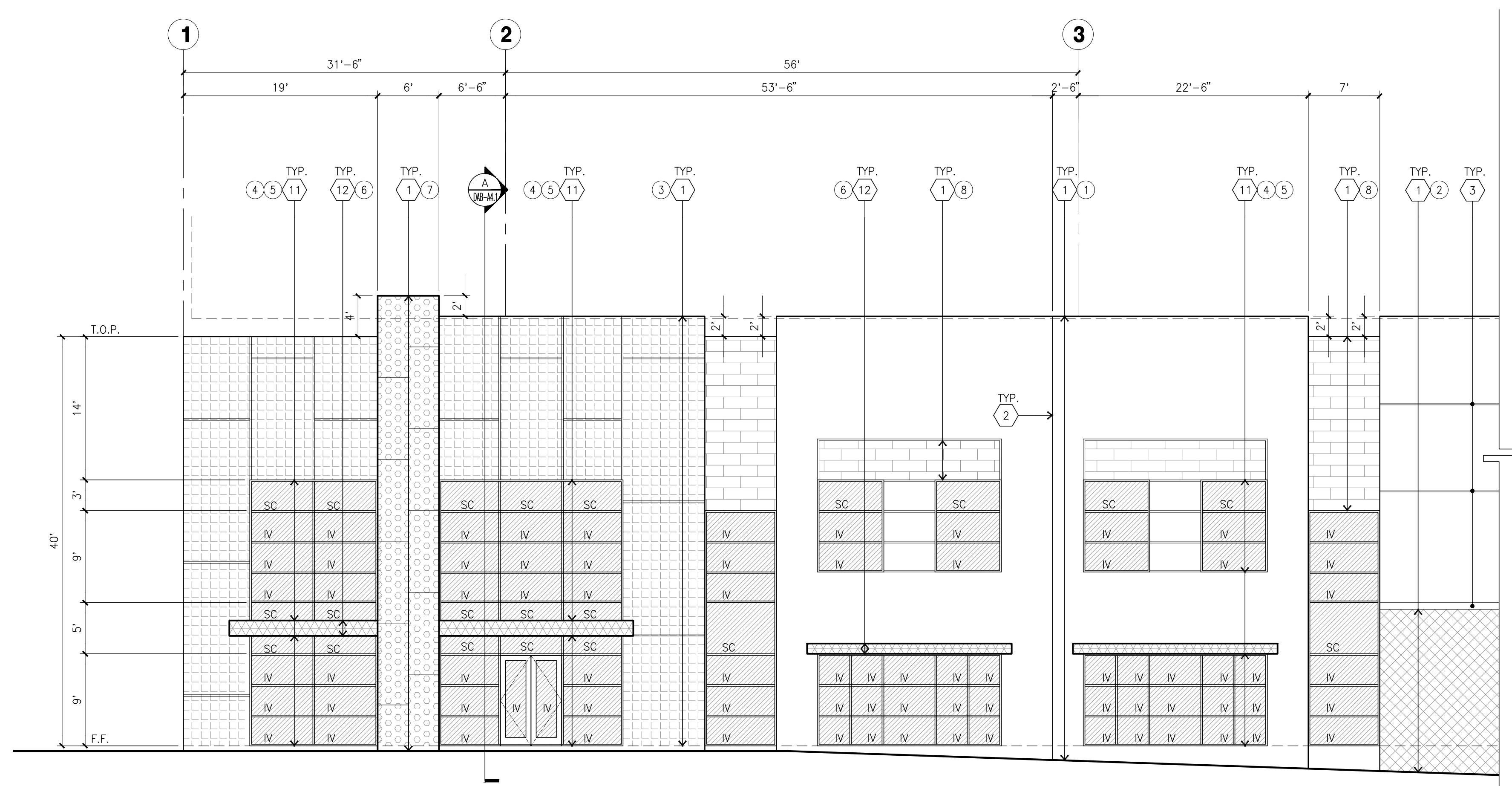
NORTH ELEVATION
scale: 1/16" = 1'-0"



WEST ELEVATION
scale: 1/16" = 1'-0"



EAST ELEVATION
scale: 1/16" = 1'-0"



ENLARGED WEST ELEVATION
scale: 1/8" = 1'-0"

ELEVATION KEYNOTES

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- 2 PANEL JOINT.
- 3 PANEL REVEAL. ALL REVEALS TO HAVE A MAX. OF 3/8" CHAMFER. REVEAL COLOR TO MATCH ADJACENT BUILDING FIELD COLOR. U.N.O.
- 4 12" X 14" OVERHEAD DOOR @ DRIVE THRU. PROVIDE COMPLETE WEATHER-STRIPPING PROTECTION ALL AROUND.
- 5 9' X 10' OVERHEAD DOOR @ DRIVE THRU. PROVIDE COMPLETE WEATHER-STRIPPING PROTECTION ALL AROUND.
- 6 CONCRETE STAIR, LANDING AND GUARDRAIL W/ METAL PIPE HANDRAIL. PROVIDE NON-SKID NOISING TO MEET ADA REQUIREMENTS. PROVIDE CONTRASTING COLORED 3" WIDE WARNING STRIPE INTEGRAL TO CONCRETE AT TOP LANDING AND BOTTOM TREAD PER ADA REQUIREMENTS.
- 7 4' X 8' METAL LOUVER OPENING FOR VENTILATION. PAINT TO MATCH BUILDING COLOR.
- 8 HOLLOW METAL DOORS. PROVIDE COMPLETE WEATHER STRIPPING ALL AROUND DOOR.
- 9 EXTERIOR DOWN SPOUTS W/ 2 OVERFLOW SCUPPERS.
- 10 DOCK DOOR BUMPER TYPICAL.
- 11 ALUMINUM STOREFRONT FRAMING WITH TEMPERED GLAZING AT ALL DOORS, SIDELITES ADJACENT TO DOORS AND GLAZING WITH BOTTOMS LESS THAN 18" ABOVE FINISH FLOOR ELEVATION.
- 12 METAL CANOPY.
- 13 NOT USED.
- 14 INTERIOR ROOF DRAIN W/ 2 OVERFLOW SCUPPERS.
- 15 CONC. FILLED GUARD POST, 6" DIA. U.N.O. 42"H.

ELEVATION GENERAL NOTES

1. ALL PAINT COLOR CHANGES TO OCCUR AT INSIDE CORNERS UNLESS NOTED OTHERWISE.
2. ALL PAINT FINISHES ARE TO BE FLAT UNLESS NOTED OTHERWISE.
3. T.O.P. EL. = TOP OF PARAPET ELEVATION.
4. F.F. = FINISH FLOOR ELEVATION.
5. STOREFRONT CONSTRUCTION: GLASS, METAL ATTACHMENTS AND LINTELS SHALL BE DESIGNED TO RESIST -- MPH. EXPOSURE "C" WINDS. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS PRIOR TO INSTALLATION.
6. CONTRACTOR SHALL FULLY PAINT ONE CONCRETE PANEL W/ SELECTED COLORS. ARCHITECT AND OWNER SHALL APPROVE PRIOR TO PAINTING REMAINDER OF BUILDING.
7. BACK SIDE OF PARAPETS TO HAVE SMOOTH FINISH AND BE PAINTED WITH ELASTOMERIC PAINT.
8. FOR SPANDREL GLAZING, ALLOW SPACE BEHIND SPANDREL TO BREATHE.
9. USE ADHESIVE BACK WOOD STRIPS FOR ALL REVEAL FORMS.
10. THE FIRST COAT OF PAINT TO BE ROLLED-ON AND THE SECOND COAT TO BE SPRAYED-ON.

ELEVATION COLOR LEGEND/SCHED.

- 1 PAINT, COLOR : SW 7636 ORIGAMI WHITE
- 2 PAINT, COLOR : SW 6002 ESSENTIAL GRAY
- 3 PAINT, COLOR : SW 2819 DOWNING SLATE
- 4 MULLIONS COLOR : SW 6993 BLACK OF NIGHT
- 5 BLUE REFLECTIVE GLAZING
- 6 METAL CANOPY: SHERWIN WILLIAMS ACRYLIC LATEX SYSTEMS HIGH GLOSS/HIGH PERFORMANCE SW 6993 BLACK OF NIGHT IN COLOR
- 7 CORE 10 STEEL
- 8 ARIZONA TILE LEGNO WALNUT 8"X40"X10MM

GLAZING LEGEND

- NOTE: ALL EXTERIOR AND INTERIOR GLAZING SHALL BE TEMPERED.
- IV INSULATED VISION GLASS
 - SC SPANDREL GLASS BEHIND WITH CONCRETE BEHIND
 - VL SINGLE LITE VISION GLASS
- IV : INSULATED VISION GLASS
1/4" VISTACOOL PACIFICA + 1/4" SOLARBAN 60 CLEAR
1" INSULATED GLASS UNIT WITH 1/2" AIRSPACE AND 1/4" LITES
U: 0.27 SINGO 0.21 VLT: 26%
MINIMUM VT TO BE 0.42 PER 2016 CEC TABLE 140.3-B
- SC : SPANDREL WITH CONCRETE BEHIND
1/4" VISTACOOL PACIFICA WITH HARMONY BLUE OPACICOAT PAINTED ON REFLECTIVE. INSTALLED ON CONCRETE.
- V : VISION GLASS
1/4" VISTACOOL PACIFICA
- MULLIONS : ANODIZED CLEAR.

Owner:



3333 MICHELSON DRIVE, STE 725
IRVINE, CA 92612

Project:

**BROADWAY
&
ALONDRA**

16325 & 16407 SOUTH MAIN ST.
CARSON, CA

Consultants:

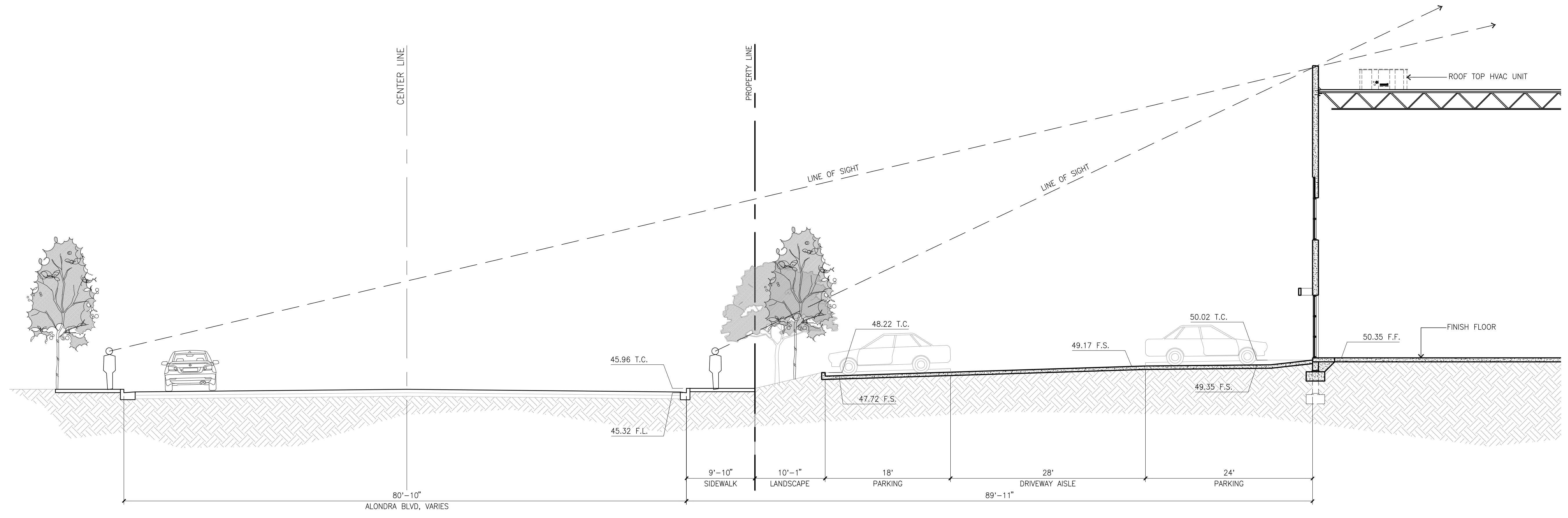
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Plumbing:	-
Electrical:	-
Landscape:	HUNTER
Fire Protection:	-
Soils Engineer:	-

Title: Sections

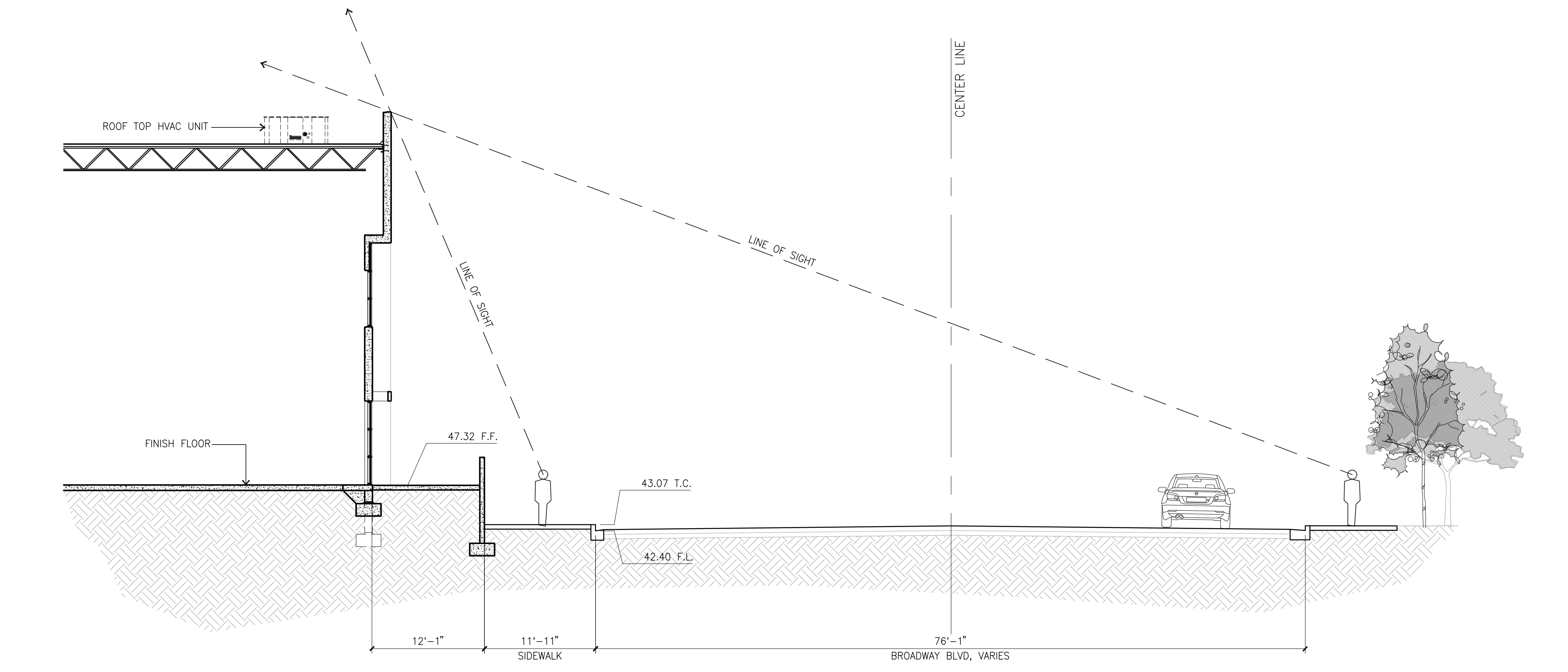
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Drawn by: JK
Date: 06/25/21
Revision:

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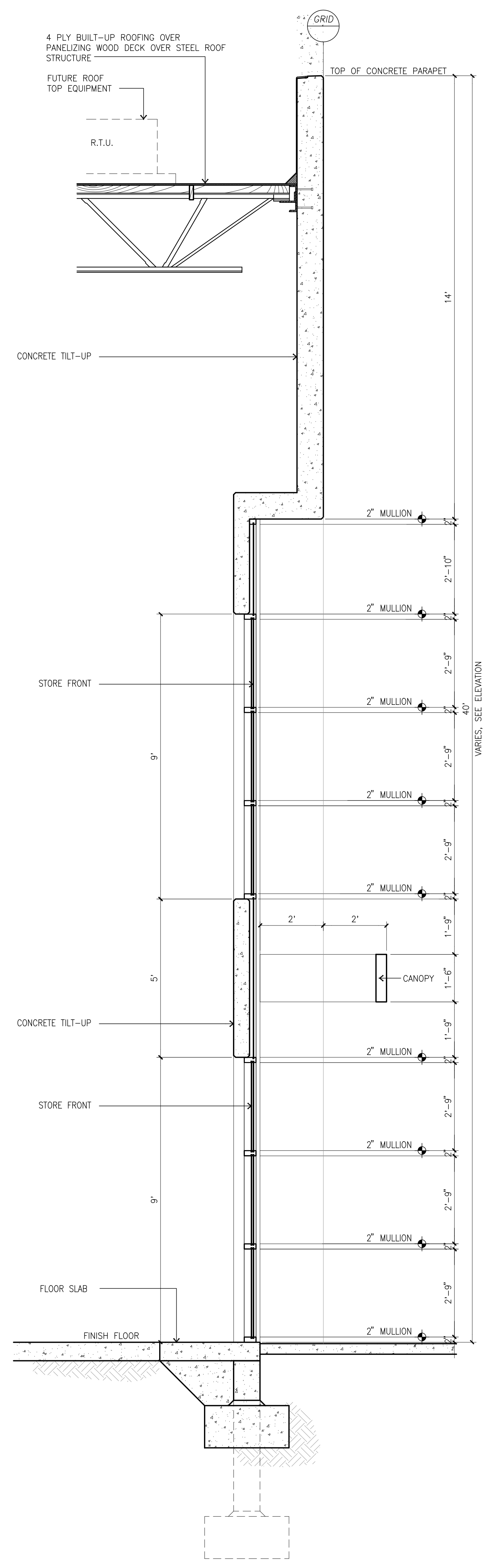
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SECTION AT MAIN OFFICE (BLDG. 1)
scale: 1/8" = 1'-0"



SECTION AT MAIN OFFICE (BLDG. 2)
scale: 1/8" = 1'-0"



WALL SECTION @ WINDOWS
scale: 1/2" = 1'-0"

Owner:



3333 MICHELSON DRIVE, STE 725
IRVINE, CA 92612

Project:

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&
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CARSON, CA

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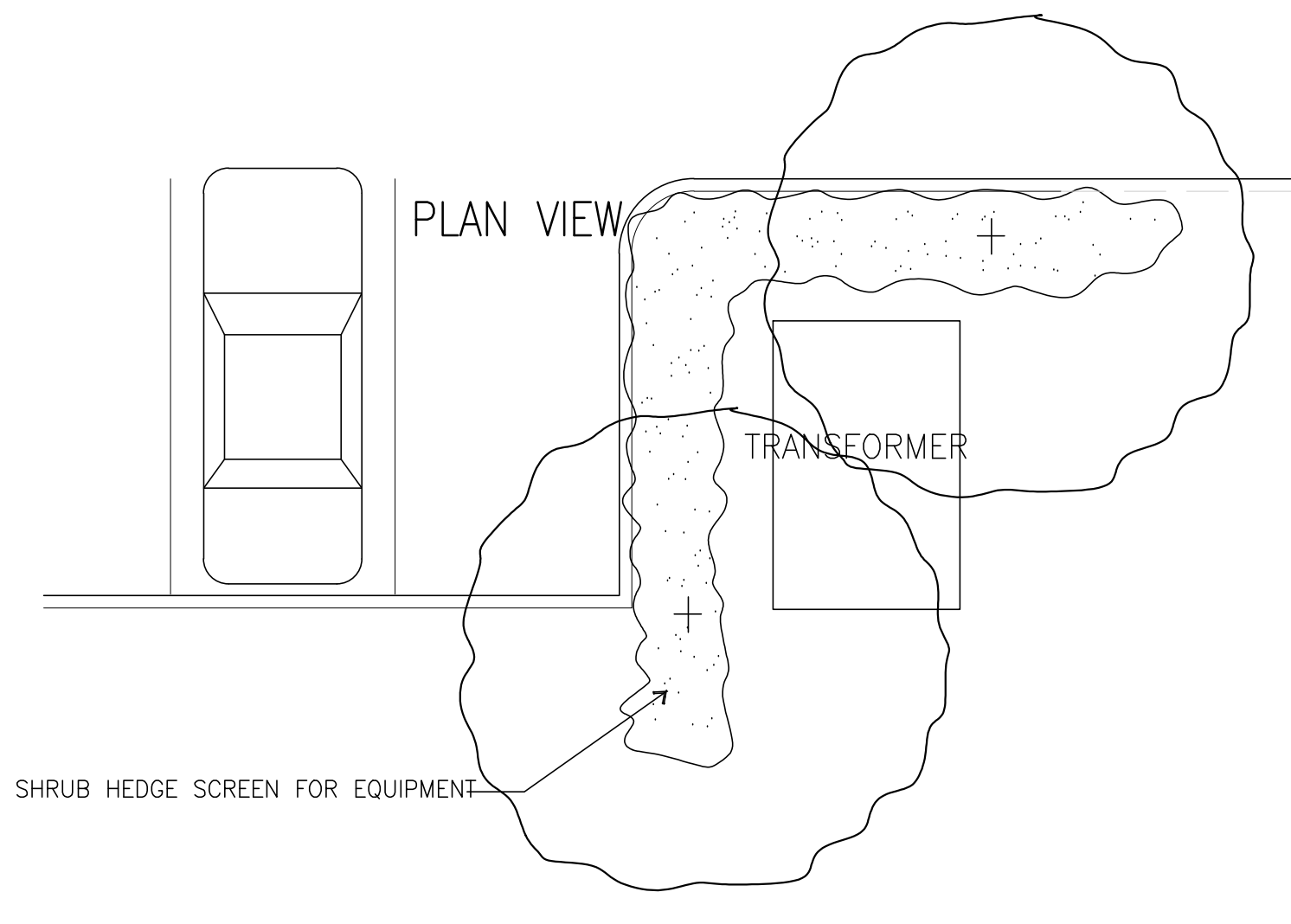
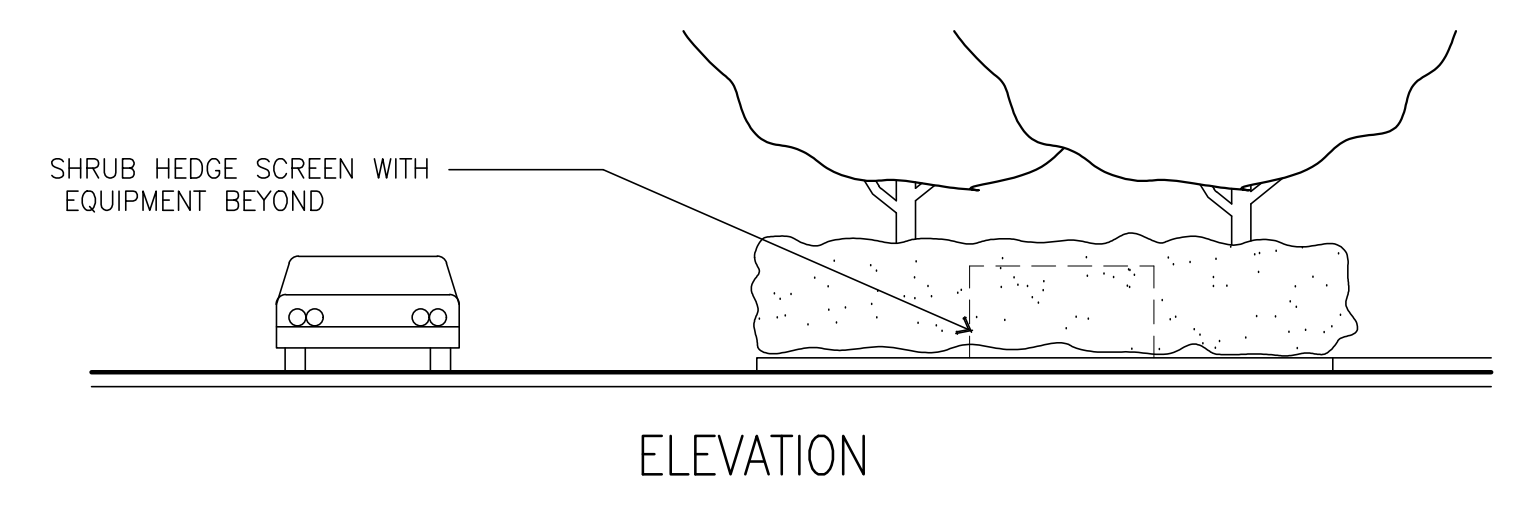
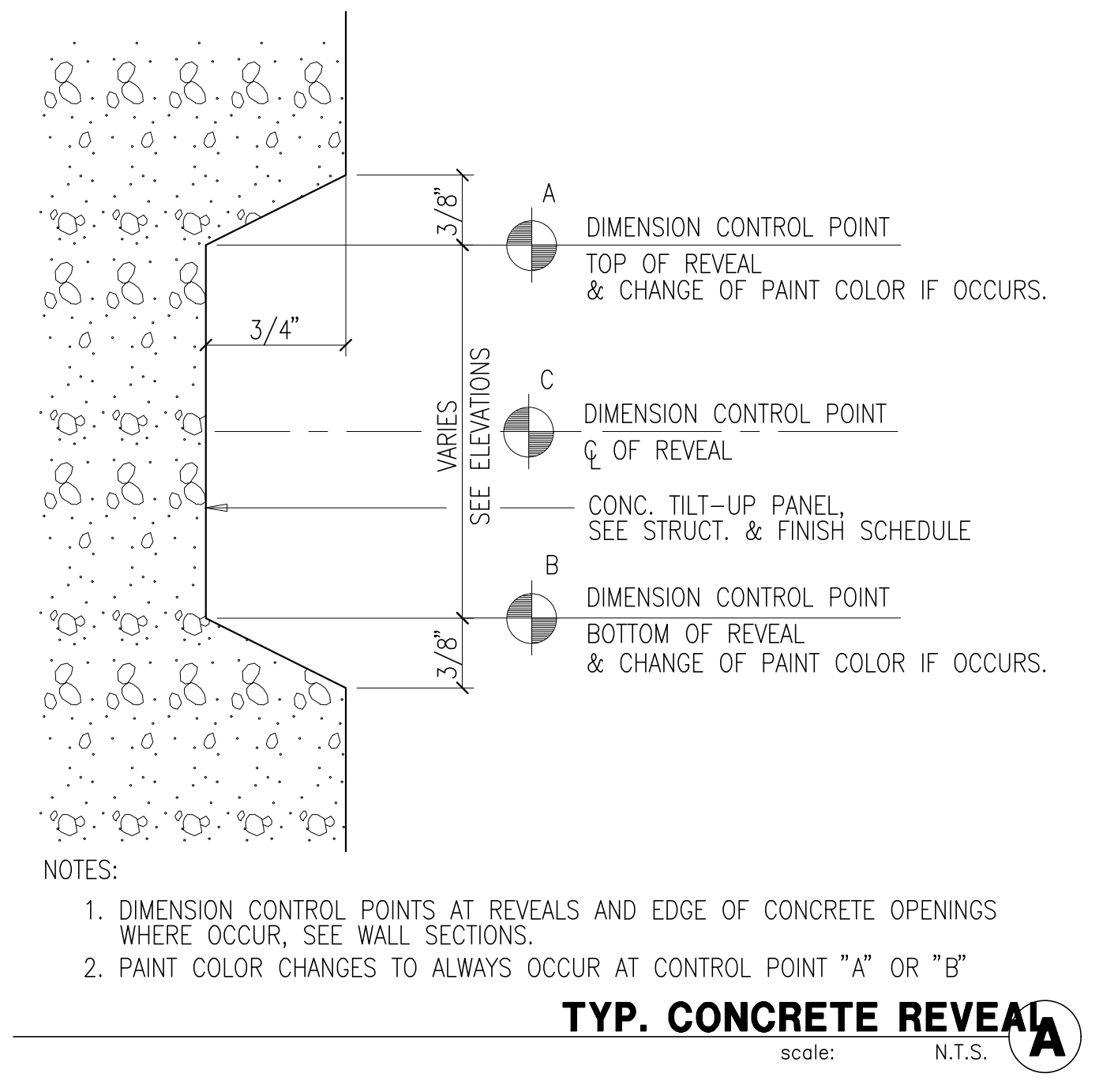
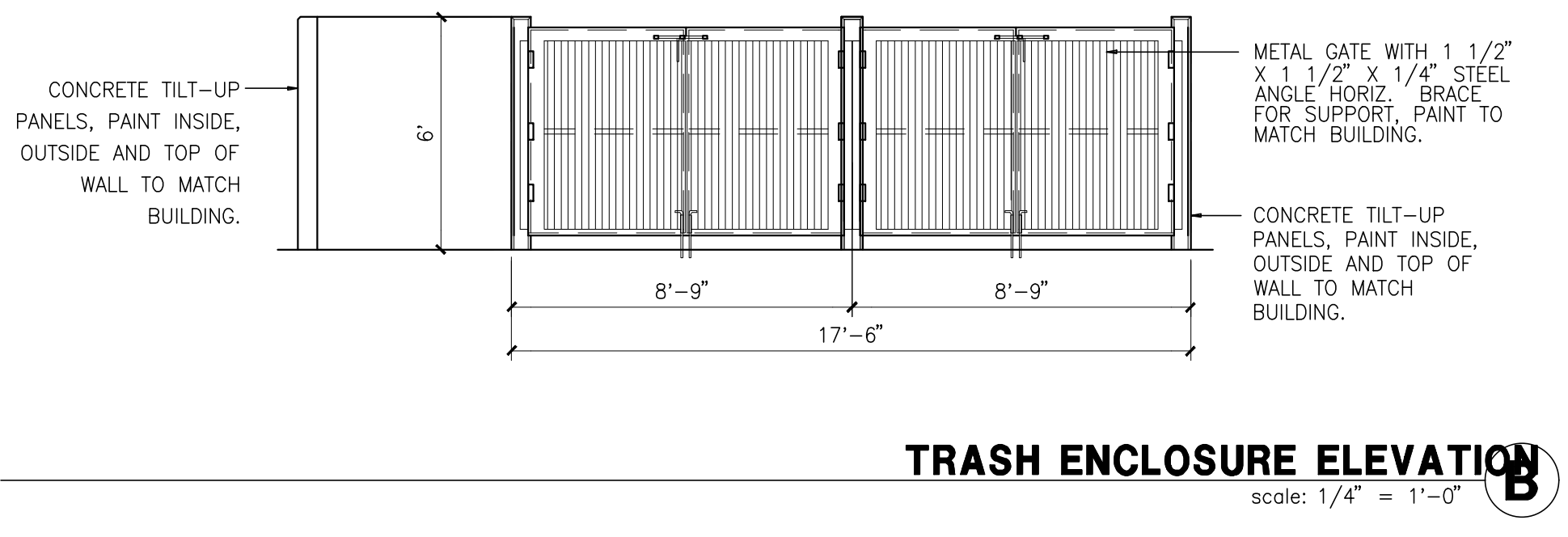
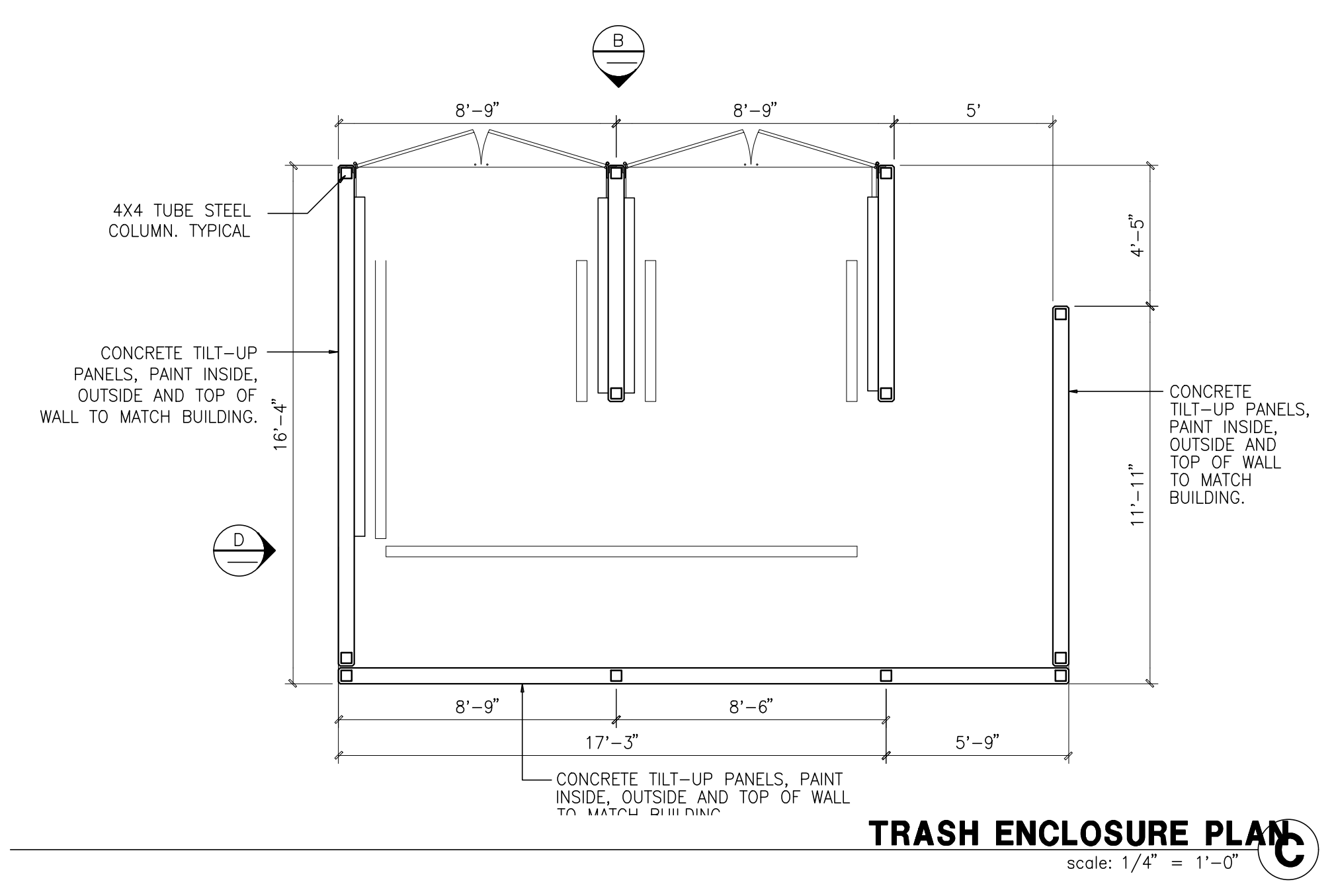
Civil:	THIENES
Structural:	-
Mechanical:	-
Plumbing:	-
Electrical:	-
Landscape:	HUNTER
Fire Protection:	-
Soils Engineer:	-

Title: Sections

Project Number: 20356
Drawn by: JK
Date: 06/25/21
Revision:

Sheet:

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GROUND MOUNTED EQUIPMENT SCREEN
scale: N.T.S.

